

Proclamation
57th ANNUAL PROFESSIONAL MUNICIPAL CLERKS WEEK

Whereas, The Office of the Professional Municipal Clerk, a time honored and vital part of local government exists throughout the world, and

Whereas, The Office of the Professional Municipal Clerk is the oldest among public servants, and

Whereas, The Office of the Professional Municipal Clerk provides the professional link between the citizens, the local governing bodies and agencies of government at other levels, and

Whereas, Professional Municipal Clerks have pledged to be ever mindful of their neutrality and impartiality, rendering equal service to all.

Whereas, The Professional Municipal Clerk serves as the information center on functions of local government and community.

Whereas, Professional Municipal Clerks continually strive to improve the administration of the affairs of the Office of the Professional Municipal Clerk through participation in education programs, seminars, workshops and the annual meetings of their state, provincial, county and international professional organizations.

Whereas, It is most appropriate that we recognize the accomplishments of the Office of the Professional Municipal Clerk.

Now, Therefore, the Town Council of the Town of Indian River Shores, do recognize Professional Municipal Clerks Week, and further extend appreciation to our Professional Municipal Clerk, Janice C. Rutan, and to all Professional Municipal Clerks for the vital services they perform and their exemplary dedication to the communities they represent.

Dated this 28 day of May 2026.

Brian T. Foley, Mayor



THE TOWN OF
INDIAN RIVER SHORES

OFFICIAL MINUTES

REGULAR TOWN COUNCIL MEETING

Thursday, April 23, 2026 – 9:00 am

Town of Indian River Shores

6001 Highway A1A Indian River Shores, FL 32963

The regular meeting of the Town Council of the Town of Indian River Shores was held on Thursday, April 23, 2026, at 9:00 a.m. in Council Chambers, 6001 Highway A1A, Indian River Shores. Those present were Brian Foley, Mayor; Bob Auwaerter, Vice Mayor; Sam Carroll, Councilmember; James Altieri, Councilmember and Peter Tedesco, Councilmember. Also present were James Harpring, Town Manager; Heather Christmas, Finance Director; Peter Sweeney, Town Attorney and Janice C. Rutan, Town Clerk.

1. Call to Order

- a. Invocation
- b. Pledge of Allegiance
- c. Roll Call

Mayor Foley called the meeting to order at 9:00 a.m. Councilmember Carroll offered the Invocation. Mayor Foley led the Pledge of Allegiance. The Town Clerk called the roll. All members were present.

2. Agenda Reordering, Deletions, or Emergency Additions

There being no reordering, deletions or emergency addition to the agenda, a motion was made by Councilmember Carroll, seconded by Councilmember Tedesco and unanimously passed (5-0) to approve the agenda as presented.

3. Presentations/Proclamations

- a. Proclamation: National Safe Boating Week

Mayor Foley read the Proclamation designating May 16 – 22, 2026 National Safe Boating Week. Tom McCarty, Coast Guard Auxiliary, addressed the Town Council reporting that the State of Florida had the most boating fatalities in the country with 61 of the 82 fatalities in the State of Florida not wearing safety jackets. Enrollment in safe boating courses had dropped significantly as well.

- b. Tammy Bursick – Update on City of Vero Beach July 4th / America's 250th Birthday Celebration

Tammy Bursick, former City Clerk of Vero Beach, shared plans for the City's July 4th celebration marking the nation's 250th birthday. Events include a parade, family activities, music, food at Riverside Park, and a 9:00 p.m. fireworks show. The Town's Public Safety Department was invited to join the parade. Municipalities in Indian River County are also invited to place historical items in a Time Capsule that will be buried at the Heritage Center on July 3, 2026, for fifty years.

- c. Domain Name Change Update

Town Manager Harpring offered a Power Point presentation highlighting the transition of the domain name change from IRShores.com to IndianRiverShores.gov. He commented that a Resolution calling for the official seal would be forthcoming. Both Mayor Foley and Vice Mayor Auwaerter requested the updated business cards include the Town Seal.

4. Comments From the Public Regarding Agenda Items(s)

Theresa Morgan, 935 Beachcomber Lane, requested a cost estimate for the septic-to-sewer project. She noted that approving the contract before sharing costs caused concern among residents. Town Manager Harpring clarified the septic project was required by SB 1379.

5. Consent Agenda

- a. Approval of Minutes of Town Council Meeting dated March 26, 2026
- b. Review of Construction East of CCCL – 630 Ocean Road
- c. Resolution 26-02 – John’s Island Cemetery Fees
- d. Approval of Local Option Gas Tax Interlocal Agreement
- e. Approval of Work Authorization 2026-11 – Kimley-Horn for Building Department Build

Vice Mayor Carroll moved to approve the Consent Agenda as presented. The motion was seconded by Councilmember Altieri. The Town Clerk called the roll. All present voted in the affirmative with the motion passing unanimously (5-0)

6. Mayor’s Report

Mayor Foley reported that the Town Clerk recently hosted a meeting of the Indian River Clerks and Supervisor of Elections. He indicated that Municipal Tax Reform is unlikely to be addressed this legislative session and presented information on Property Tax Revenue from Ad Valorem Assessments. Mayor Foley announced a residential input meeting on May 19, 2026, at 10:00 a.m. regarding parking of non-commercial trucks in residential driveways. The Utility Bill that passed both the House and Senate has not yet been sent to the Governor for signature.

7. Councilmember Items

a. Vice Mayor Auwaerter – Review of 2026 Indian River County Beach Preservation Plan Draft
Vice Mayor Auwaerter reported on a meeting held earlier in the week at the Community Center that addressed the 2026 Beach Preservation Plan by evaluating current coastal conditions, assessing risks, and identifying management strategies. There were 86 people in attendance. He offered a detailed Power Point presentation that highlighted the findings and recommendations that were addressed by the County at the meeting.

8. Discussion with Possible or Probable Action

- a. Ordinance No. 590 Repeal of Article VI – Department of Treasury
Section 30.45 Organization; powers and duties. (Second Reading)

Attorney Sweeney read the title of Ordinance No. 590 into the record. There being no comments from the public, a motion was made by Councilmember Carroll and seconded by Councilmember Altieri to approve Ordinance No. 590 on second reading. The Town Clerk called the roll. All present voted in the affirmative with the motion passing 5-0.

- b. Ordinance No. 591 Amendment to Article VII, Department of Finance
Section 30.50 – Organization, powers and duties. (Second Reading)

Attorney Sweeney read the title of Ordinance No. 591 into the record. There being no comments from the public, a motion was made by Councilmember Carroll and seconded by Councilmember Altier to approve Ordinance No. 591 on second reading. The Town Clerk called the roll. All present voted in the affirmative with the motion passing 5-0.

- c. Ordinance No. 592 Amendment to Section 32.21 – Town Manager (Second Reading)

Attorney Sweeney read the title of Ordinance No. 592 into the record. There being no comments from the public, a motion was made by Councilmember Carroll and seconded by Vice Mayor Auwaerter to approve Ordinance No. 592 on second reading. The Town Clerk called the roll. All present voted in the affirmative with the motion passing 5-0.

- d. Ordinance No. 593 Procurement of Goods and Services (Second Reading)

Attorney Sweeney read the title of Ordinance No. 593 into record. There being no comments from the public, a motion was made by Councilmember Carroll and seconded by Councilmember Altier to approve Ordinance No. 593 on second reading. The Town Clerk called the roll. All present voted in the affirmative with the motion passing 5-0.

- e. Award of ITB 26-01 Beachcomber Lane and Pebble Lane Paving, Stormwater and Septic to Sewer Project

Town Manager Harpring summarized the process. The Town worked diligently to minimize paving and drainage costs, while homeowners are required to pay for the septic-to-sewer conversion, which can be paid over ten years via property taxes to the City of Vero Beach. Rob Bolton, City of Vero Beach Water and Sewer Director, confirmed the City will charge approximately 6% interest on amortized loans.

Councilmember Carroll motioned to award ITB 26-01 for Beachcomber Lane and Pebble Lane improvements, seconded by Councilmember Altieri. The Town Clerk called the roll. All present voted in the affirmative. The motion passed unanimously, 5-0. Town Manager Harpring reported contractor meetings for the next week and said residents will be informed about the timeline and costs through mail and email.

- f. Budget Schedule Budget Workshop – July 23, 2026, 8:30 am
First Public Hearing
Final Public Budget Hearing

By consensus, Town Council set and confirmed the following Budget schedule:

- Budget Workshop – July 23, 2026, 8:30 am
- First Public Hearing – September 15, 2026, at 5:01 p.m.
- Final Public Budget Hearing – September 22, 2026, at 5:01 p.m.

- g. Resolution 26-01 Calling for the November 3, 2026 Election

Attorney Sweeney read the title of Resolution 26-01 into the record. With no public comment, Councilmember Carroll moved to approve Resolution 26-01. Councilmember Altieri seconded the motion. The Town Clerk called the roll. All present voted in the affirmative with the motion passing 5-0.

9. **Staff Updates**

- a. Building Department Report

Building Official Fred Held was available for questions from the Town Council.

- b. Code Enforcement Report

Officer Jake Maikrantz was available for questions from the Town Council.

- c. Facilities Department Report

Facilities Director Lucy Scheidt was available for questions from the Town Council

d. Finance Department Report

In response to Vice Mayor Auwaerter, Finance Director Heather Christmas responded that the recent legislative budgetary requirements did not distinguish between the general fund of capital improvement fund.

e. Public Safety Department Report

Assistant Chief Ryer offered a brief response regarding the recent moped accident at Beachland Boulevard and A1A.

10. Town Attorney Report

Attorney Sweeney stated that 167 bills are still awaiting the Governor's signature. The budget remains unapproved, and no date has been set for the special session to adopt the budget. A special session on redistricting and medical freedom is scheduled to start on April 28, 2026.

11. Town Manager Report

a. Parking Ordinance Review

Town Manager Harpring reiterated the announcement of the informational meeting scheduled for May 19, 2026 to address parking on non-commercial trucks in residential areas.

12. Council/Committee Reports or Non-Action Items

a. Call for Committee Reports, Informational Updates or Comments

Councilmember Tedesko shared updates from the Treasure Coast League of Cities meeting. Mandy Collier, Grant Coordinator for the Florida League of Cities, offered free consulting to municipalities. There was also a presentation on data centers, with the presenter available to address municipalities.

Councilmember Altieri noted the Utilities Commission was now meeting every other month.

Mayor Foley summarized the Treasure Coast Council of Local Government meeting, mentioning data centers' pros and cons. He also noted the TCCLG \$1,000 scholarship for students and ongoing discussions about high insurance costs, including the idea of pooling smaller municipalities to reduce expenses.

Vice Mayor Auwaerter asked about the impact of data centers on electric costs, referencing a Virginia town where expenses increased sharply. He also gave updates on the Metropolitan Planning Organization and the Beaches and Shores meeting.

Vice Mayor Auwaerter distributed an article about a ransomware attack on the Water Treatment Plant in Minot, ND. Vice Mayor Auwaerter reminded all that there is a strategic Air Force Base in Minot, ND.

Councilmember Carrol reported on the meeting of the Economic Development Council. There were three presentations that covered incentives to bring people and businesses to Indian River County. Indian River County, Indian River School District, and Indian River State College were all coordinating efforts for education and advancement for working families in conjunction with the support of businesses already established.

12. Call to Audience

Matt Hutmaker, 560 Sable Oak Lane, Bermuda Bay. Mr. Hutmaker lodged a complaint with Council that vehicles from the west, approaching A1A, whether from a gated community or public street, do not stop before the stop sign and drive across the sidewalk often coming very close hitting pedestrians or bicyclists on the sidewalk. He asked for the Town’s help in getting a Public Service Announcement out to the residents and HOAs as well as enforcing the law. Vice Mayor Auwaerter commented that FS 316 allows bicycles to traverse sidewalks and sets specific guidelines for passing bikes should they be on the roadways.

Mitzi Zimmerle, Pebble Lane. Regarding septic to sewer and project costs, she asked why the State, who was responsible for legislating the requirement, was not paying for the project. Town Manager Harpring explained it was an unfunded mandate.

Sheila Saville, Surf Lane. Ms. Saville commented on the lack of communication between the Town to the property owners and asked about costs.

Paul Chatterton, Pebble Lane. In response to Mr. Chatterton’s inquiry, Mr. Harpring explained that the City did not choose the installation of STEP systems on either Pebble or Beachcomber Lanes.

Town Manager Harpring further commented that any requests for grants would have to come through the City of Vero Beach.

Theresa Morgan, 935 Beachcomber Lane came to the podium. The Mayor noted she spoke earlier in the meeting, and did not entertain further comments.

Adjournment:

With no further business to come before the Town Council, the meeting adjourned at 11:00 a.m.

Approved: May 28, 2026

Janice C. Rutan, Town Clerk



AGENDA ITEM

TO: Town Council
James Harpring, Town Manager

FROM: Heather Christmas, Finance Director

DATE: April 27, 2026

SUBJECT: Approval of Lease Agreement for Public Safety Camera Systems

BACKGROUND:

The Public Safety Department has multiple camera system lease agreements nearing expiration. The Town will be renewing the leases into a single consolidated contract. This will be done pursuant to Section 31.02(b)(2) of the Town Code using the competitively awarded Omnia Contract 3544-21-4615 held by Axon Enterprise, Inc.

The 60-month agreement includes eighteen (18) body-worn cameras, eight (8) in-vehicle systems, associated hardware, unlimited evidence storage, and hardware replacement under the Technology Assurance Plan (TAP). Total cost is \$203,627.93, payable annually beginning September 2026.

RECOMMENDATION:

Approve a 60-month agreement with Axon Enterprise, Inc. under Omnia Contract 3544-21-4615 for \$203,627.93 and authorize the Town Manager to execute the related documents.

ATTACHMENTS:

Axon Enterprise, Inc, Quote Q-801668-46134RG





Axon Enterprise, Inc.
 17800 N 85th St
 Scottsdale, Arizona 85255
 United States
 VAT: 86-0741227
 Domestic:(800) 978-2737
 International: +1.800.978.2737

Q-801668-46134RG

Issued: 04/22/2026

Quote Expiration: 07/31/2026

Estimated Contract Start Date: 10/01/2026

Account Number: 482794

Payment Terms: N30

Mode of Delivery: AUTO-GND

Credit/Debit Amount: \$0.00

SHIP TO	BILL TO
Indian River Shores Public Safety Dept - FL 6001 Highway A1A Vero Beach, FL 32963-1014 USA	Indian River Shores Public Safety Dept - FL 6001 Highway A1A Vero Beach FL 32963-1014 USA Email:

SALES REPRESENTATIVE	PRIMARY CONTACT
Rachel Gershenson Phone: Email: rleinson@axon.com Fax:	Edward Ryer Phone: 772-231-2451 Email: eryer@indianrivershores.gov Fax:

Quote Summary

Program Length	60 Months
TOTAL COST	\$203,627.93
ESTIMATED TOTAL W/ TAX	\$203,627.93

Discount Summary

Average Savings Per Year	\$24,189.27
TOTAL SAVINGS	\$120,946.33

Payment Summary

Date	Subtotal	Tax	Total
Sep 2026	\$24,441.21	\$0.00	\$24,441.21
Sep 2027	\$44,796.68	\$0.00	\$44,796.68
Sep 2028	\$44,796.68	\$0.00	\$44,796.68
Sep 2029	\$44,796.68	\$0.00	\$44,796.68
Sep 2030	\$44,796.68	\$0.00	\$44,796.68
Total	\$203,627.93	\$0.00	\$203,627.93

Quote Unbundled Price:	\$305,689.80
Quote List Price:	\$245,860.20
Quote Subtotal:	\$203,627.93

Pricing

All deliverables are detailed in Delivery Schedules section lower in proposal

Item	Description	Qty	Term	Unbundled	List Price	Net Price	Subtotal	Tax	Total
Program									
100553	TRANSFER BALANCE - SOFTWARE AND SERVICES	1			\$1.00	(\$10,458.10)	(\$10,458.10)	\$0.00	(\$10,458.10)
100552	TRANSFER BALANCE - GOODS	1			\$1.00	(\$4,434.37)	(\$4,434.37)	\$0.00	(\$4,434.37)
BWCUwTAP	BWC Unlimited with TAP	18	60	\$140.93	\$102.91	\$102.91	\$111,142.80	\$0.00	\$111,142.80
Fleet3ARe	Fleet 3 Advanced Renewal	8	60	\$228.67	\$189.57	\$189.57	\$90,993.60	\$0.00	\$90,993.60
HWCNAB4	AB4 CONNECTED HARDWARE BUNDLE	18	60			\$0.00	\$0.00	\$0.00	\$0.00
A la Carte Hardware									
72036	AXON FLEET 3 - STANDARD 2 CAMERA KIT	8			\$2,695.00	\$0.00	\$0.00	\$0.00	\$0.00
101924	AXON FLEET - TAOGAS ANT - 7-IN-1 4CELL 2WIFI 1GNSS INT	8			\$149.00	\$149.00	\$1,192.00	\$0.00	\$1,192.00
103346	AXON FLEET - ERICSSON R980-5GD-A+5YR NETCLOUD	8			\$1,899.00	\$1,899.00	\$15,192.00	\$0.00	\$15,192.00
H00002	AB4 Multi Bay Dock Bundle	2			\$1,638.90	\$0.00	\$0.00	\$0.00	\$0.00
A la Carte Services									
102531	PSO VIRTUAL TRAINING	1			\$2,500.00	\$0.00	\$0.00	\$0.00	\$0.00
Total							\$203,627.93	\$0.00	\$203,627.93

Delivery Schedule

Hardware

Bundle	Item	Description	QTY	Shipping Location	Estimated Delivery Date
AB4 CONNECTED HARDWARE BUNDLE	100147	AXON BODY 4 - CAMERA - NA US FIRST RESPONDER BLK RAPIDLOCK	18	1	09/01/2026
AB4 CONNECTED HARDWARE BUNDLE	100147	AXON BODY 4 - CAMERA - NA US FIRST RESPONDER BLK RAPIDLOCK	1	1	09/01/2026
AB4 CONNECTED HARDWARE BUNDLE	100466	AXON BODY 4 - CABLE - USB-C TO USB-C	20	1	09/01/2026
AB4 CONNECTED HARDWARE BUNDLE	100775	AXON BODY 4 - MAGNETIC DISCONNECT CABLE	20	1	09/01/2026
AB4 CONNECTED HARDWARE BUNDLE	71026	AXON BODY - MOUNT - MAGNET FLEXIBLE REINFORCED RAPIDLOCK	20	1	09/01/2026
AB4 Multi Bay Dock Bundle	100206	AXON BODY 4 - 8 BAY DOCK	2	1	09/01/2026
AB4 Multi Bay Dock Bundle	70033	AXON - DOCK WALL MOUNT - BRACKET ASSY	2	1	09/01/2026
AB4 Multi Bay Dock Bundle	71019	AXON BODY - DOCK POWERCORD - NORTH AMERICA	2	1	09/01/2026
A la Carte	101924	AXON FLEET - TAOGAS ANT - 7-IN-1 4CELL 2WIFI 1GNSS INT	8	1	09/01/2026
A la Carte	103346	AXON FLEET - ERICSSON R980-5GD-A+5YR NETCLOUD	8	1	09/01/2026
A la Carte	72036	AXON FLEET 3 - STANDARD 2 CAMERA KIT	8	1	09/01/2026
BWC Unlimited with TAP	73309	AXON BODY - TAP REFRESH 1 - CAMERA	18	1	03/01/2029
BWC Unlimited with TAP	73689	AXON BODY - TAP REFRESH 1 - DOCK MULTI BAY	2	1	03/01/2029
BWC Unlimited with TAP	73310	AXON BODY - TAP REFRESH 2 - CAMERA	18	1	09/01/2031
BWC Unlimited with TAP	73688	AXON BODY - TAP REFRESH 2 - DOCK MULTI BAY	2	1	09/01/2031

Hardware

Bundle	Item	Description	QTY	Shipping Location	Estimated Delivery Date
Fleet 3 Advanced Renewal	72040	AXON FLEET - TAP REFRESH 1 - 2 CAMERA KIT	8	1	09/01/2031

Software

Bundle	Item	Description	QTY	Estimated Start Date	Estimated End Date
BWC Unlimited with TAP	73686	AXON EVIDENCE - STORAGE - UNLIMITED (AXON DEVICE)	18	10/01/2026	09/30/2031
BWC Unlimited with TAP	73746	AXON EVIDENCE - ECOM LICENSE - PRO	18	10/01/2026	09/30/2031
Fleet 3 Advanced Renewal	80400	AXON EVIDENCE - FLEET VEHICLE LICENSE	8	10/01/2026	09/30/2031
Fleet 3 Advanced Renewal	80401	AXON FLEET 3 - ALPR LICENSE - 1 CAMERA	8	10/01/2026	09/30/2031
Fleet 3 Advanced Renewal	80402	AXON FLEET - LICENSE - REAL-TIME LOCATION, ALERTS, & LIVESTREAM	8	10/01/2026	09/30/2031
Fleet 3 Advanced Renewal	80410	AXON EVIDENCE - STORAGE - FLEET 1 CAMERA UNLIMITED	16	10/01/2026	09/30/2031

Services

Bundle	Item	Description	QTY
Fleet 3 Advanced Renewal	73392	AXON FLEET 3 - INSTALLATION - UPGRADE (PER VEHICLE)	8
A la Carte	102531	PSO VIRTUAL TRAINING	1

Warranties

Bundle	Item	Description	QTY	Estimated Start Date	Estimated End Date
BWC Unlimited with TAP	80464	AXON BODY - TAP WARRANTY - CAMERA	18	09/01/2027	09/30/2031
BWC Unlimited with TAP	80465	AXON BODY - TAP WARRANTY - MULTI BAY DOCK	2	09/01/2027	09/30/2031
Fleet 3 Advanced Renewal	80495	AXON FLEET 3 - EXT WARRANTY - 2 CAMERA KIT	8	09/01/2027	09/30/2031

Shipping Locations

Location Number	Street	City	State	Zip	Country
1	6001 Highway A1A	Vero Beach	FL	32963-1014	USA

Payment Details

Sep 2026						
Invoice Plan	Item	Description	Qty	Subtotal	Tax	Total
Annual Payment 1	101924	AXON FLEET - TAOGLAS ANT - 7-IN-1 4CELL 2WIFI 1GNSS INT	8	\$214.56	\$0.00	\$214.56
Annual Payment 1	102531	PSO VIRTUAL TRAINING	1	\$0.00	\$0.00	\$0.00
Annual Payment 1	103346	AXON FLEET - ERICSSON R980-5GD-A+5YR NETCLOUD	8	\$2,734.56	\$0.00	\$2,734.56
Annual Payment 1	72036	AXON FLEET 3 - STANDARD 2 CAMERA KIT	8	\$0.00	\$0.00	\$0.00
Annual Payment 1	BWCUwTAP	BWC Unlimited with TAP	18	\$20,005.73	\$0.00	\$20,005.73
Annual Payment 1	Fleet3ARe	Fleet 3 Advanced Renewal	8	\$16,378.83	\$0.00	\$16,378.83
Annual Payment 1	H00002	AB4 Multi Bay Dock Bundle	2	\$0.00	\$0.00	\$0.00
Annual Payment 1	HWCNAB4	AB4 CONNECTED HARDWARE BUNDLE	18	\$0.00	\$0.00	\$0.00
Transfer Value	100552	TRANSFER BALANCE - GOODS	1	(\$4,434.37)	\$0.00	(\$4,434.37)
Transfer Value	100553	TRANSFER BALANCE - SOFTWARE AND SERVICES	1	(\$10,458.10)	\$0.00	(\$10,458.10)
Total				\$24,441.21	\$0.00	\$24,441.21

Oct 2026						
Invoice Plan	Item	Description	Qty	Subtotal	Tax	Total
Invoice Upon Fulfillment	Fleet3ARe	Fleet 3 Advanced Renewal	8	\$0.00	\$0.00	\$0.00
Invoice Upon Fulfillment	HWCNAB4	AB4 CONNECTED HARDWARE BUNDLE	18	\$0.00	\$0.00	\$0.00
Total				\$0.00	\$0.00	\$0.00

Sep 2027						
Invoice Plan	Item	Description	Qty	Subtotal	Tax	Total
Annual Payment 2	101924	AXON FLEET - TAOGLAS ANT - 7-IN-1 4CELL 2WIFI 1GNSS INT	8	\$244.36	\$0.00	\$244.36
Annual Payment 2	103346	AXON FLEET - ERICSSON R980-5GD-A+5YR NETCLOUD	8	\$3,114.36	\$0.00	\$3,114.36
Annual Payment 2	72036	AXON FLEET 3 - STANDARD 2 CAMERA KIT	8	\$0.00	\$0.00	\$0.00
Annual Payment 2	BWCUwTAP	BWC Unlimited with TAP	18	\$22,784.27	\$0.00	\$22,784.27
Annual Payment 2	Fleet3ARe	Fleet 3 Advanced Renewal	8	\$18,653.69	\$0.00	\$18,653.69
Annual Payment 2	H00002	AB4 Multi Bay Dock Bundle	2	\$0.00	\$0.00	\$0.00
Annual Payment 2	HWCNAB4	AB4 CONNECTED HARDWARE BUNDLE	18	\$0.00	\$0.00	\$0.00
Total				\$44,796.68	\$0.00	\$44,796.68

Sep 2028						
Invoice Plan	Item	Description	Qty	Subtotal	Tax	Total
Annual Payment 3	101924	AXON FLEET - TAOGLAS ANT - 7-IN-1 4CELL 2WIFI 1GNSS INT	8	\$244.36	\$0.00	\$244.36
Annual Payment 3	103346	AXON FLEET - ERICSSON R980-5GD-A+5YR NETCLOUD	8	\$3,114.36	\$0.00	\$3,114.36
Annual Payment 3	72036	AXON FLEET 3 - STANDARD 2 CAMERA KIT	8	\$0.00	\$0.00	\$0.00
Annual Payment 3	BWCUwTAP	BWC Unlimited with TAP	18	\$22,784.27	\$0.00	\$22,784.27
Annual Payment 3	Fleet3ARe	Fleet 3 Advanced Renewal	8	\$18,653.69	\$0.00	\$18,653.69
Annual Payment 3	H00002	AB4 Multi Bay Dock Bundle	2	\$0.00	\$0.00	\$0.00
Annual Payment 3	HWCNAB4	AB4 CONNECTED HARDWARE BUNDLE	18	\$0.00	\$0.00	\$0.00
Total				\$44,796.68	\$0.00	\$44,796.68

Sep 2029

Invoice Plan	Item	Description	Qty	Subtotal	Tax	Total
Annual Payment 4	101924	AXON FLEET - TAOGAS ANT - 7-IN-1 4CELL 2WIFI 1GNSS INT	8	\$244.36	\$0.00	\$244.36
Annual Payment 4	103346	AXON FLEET - ERICSSON R980-5GD-A+5YR NETCLOUD	8	\$3,114.36	\$0.00	\$3,114.36
Annual Payment 4	72036	AXON FLEET 3 - STANDARD 2 CAMERA KIT	8	\$0.00	\$0.00	\$0.00
Annual Payment 4	BWCUwTAP	BWC Unlimited with TAP	18	\$22,784.27	\$0.00	\$22,784.27
Annual Payment 4	Fleet3ARe	Fleet 3 Advanced Renewal	8	\$18,653.69	\$0.00	\$18,653.69
Annual Payment 4	H00002	AB4 Multi Bay Dock Bundle	2	\$0.00	\$0.00	\$0.00
Annual Payment 4	HWCNAB4	AB4 CONNECTED HARDWARE BUNDLE	18	\$0.00	\$0.00	\$0.00
Total				\$44,796.68	\$0.00	\$44,796.68

Sep 2030

Invoice Plan	Item	Description	Qty	Subtotal	Tax	Total
Annual Payment 5	101924	AXON FLEET - TAOGAS ANT - 7-IN-1 4CELL 2WIFI 1GNSS INT	8	\$244.36	\$0.00	\$244.36
Annual Payment 5	103346	AXON FLEET - ERICSSON R980-5GD-A+5YR NETCLOUD	8	\$3,114.36	\$0.00	\$3,114.36
Annual Payment 5	72036	AXON FLEET 3 - STANDARD 2 CAMERA KIT	8	\$0.00	\$0.00	\$0.00
Annual Payment 5	BWCUwTAP	BWC Unlimited with TAP	18	\$22,784.27	\$0.00	\$22,784.27
Annual Payment 5	Fleet3ARe	Fleet 3 Advanced Renewal	8	\$18,653.69	\$0.00	\$18,653.69
Annual Payment 5	H00002	AB4 Multi Bay Dock Bundle	2	\$0.00	\$0.00	\$0.00
Annual Payment 5	HWCNAB4	AB4 CONNECTED HARDWARE BUNDLE	18	\$0.00	\$0.00	\$0.00
Total				\$44,796.68	\$0.00	\$44,796.68

Tax is estimated based on rates applicable at date of quote and subject to change at time of invoicing. If a tax exemption certificate should be applied, please submit prior to invoicing.

Contract Omnia Contract 3544-21-4615 is incorporated by reference into the terms and conditions of this Agreement. In the event of conflict the terms of Axon's Master Services and Purchasing Agreement shall govern.

Standard Terms and Conditions

Axon Enterprise Inc. Sales Terms and Conditions

Axon Master Services and Purchasing Agreement:

This Quote is limited to and conditional upon your acceptance of the provisions set forth herein and Axon's Master Services and Purchasing Agreement (posted at <https://www.axon.com/sales-terms-and-conditions>), as well as the attached Statement of Work (SOW) for Axon Fleet and/or Axon Interview Room purchase, if applicable. In the event you and Axon have entered into a prior agreement to govern all future purchases, that agreement shall govern to the extent it includes the products and services being purchased and does not conflict with the Axon Customer Experience Improvement Program Appendix as described below.

ACEIP:

The Axon Customer Experience Improvement Program Appendix, which includes the sharing of de-identified segments of Agency Content with Axon to develop new products and improve your product experience (posted at www.axon.com/legal/sales-terms-and-conditions), is incorporated herein by reference. By signing below, you agree to the terms of the Axon Customer Experience Improvement Program.

Acceptance of Terms:

Any purchase order issued in response to this Quote is subject solely to the above referenced terms and conditions. By signing below, you represent that you are lawfully able to enter into contracts. If you are signing on behalf of an entity (including but not limited to the company, municipality, or government agency for whom you work), you represent to Axon that you have legal authority to bind that entity. If you do not have this authority, please do not sign this Quote.

Exceptions to Standard Terms and Conditions

Agency has existing contract(s) originated via Quote(s):

Q-334913, Q-344036, Q-400268, Q-451172, Q-466353, Q-612222, Q-613001, Q-686676, Q-692376, Q-729662,

Agency is terminating those contracts effective 10/1/2026. Any changes in this date will result in modification of the program value which may result in additional fees or credits due to or from Axon.

The parties agree that Axon is applying a Transfer Balance of -\$14,892.47

100% discounted body-worn camera and docking station hardware contained in this quote reflects a TAP replacement for hardware purchased under existing quotes aforementioned above. All TAP obligations from this contract will be considered fulfilled upon execution of this quote.

Any credits contained in this quote are contingent upon payment in full of the following amounts:

Pending Billing - Q-344036 - 6/1/2026 - \$14,975.90 Pending Billing - Q-686676 - 6/1/2026 - \$5,752.80

Rewrite Estimates

Estimated Amounts and Contract Terminations. Any amounts stated as due under existing or terminated contracts — including contract transfer balances carried forward to new or pending contracts — are estimates based on payments received as of the calculation date. These estimates may be adjusted if new contracts are not executed on the anticipated dates or if expected payments are not made.

Refresh Shipment Timing

Technology Assurance Plan (TAP) Refresh Prior to Renewal. For Customers with expiring agreements that include TAP refresh rights, Axon may, in its discretion, ship refresh hardware under the existing contract while renewal or replacement agreements are in progress. Any such shipments will be deemed made under the terms of the existing contract until the new contract is fully executed, after which any applicable updates, fees, or adjustments will apply.

Shipment Timing

Shipment Variance. Estimated shipment dates are provided for planning purposes only and are not guarantees. Axon may ship hardware before or after the estimated shipment date, and failure to meet an estimated shipment date will not, by itself, constitute a breach, provided Axon uses commercially reasonable efforts to meet estimated

shipment dates.

Signature

Date Signed

4/22/2026





AGENDA ITEM

TO: Town Council
James Harpring, Town Manager

FROM: Heather Christmas, Finance Director

DATE: April 28, 2026

SUBJECT: Resolution 26-03 Amended Public Safety Fee Schedule

BACKGROUND:

The Town charges fees for off-duty law enforcement services provided by the Public Safety Department under Sec. 90.17 of the Town Code of Ordinances. These fees were consolidated under Resolution 25-06, adopted May 22, 2025.

It is proposed that the fee schedule be amended as outlined in Resolution 26-03 to update the standard hourly rate for off-duty law enforcement services as follows:

Standard Hourly Rate (per officer): \$70.00

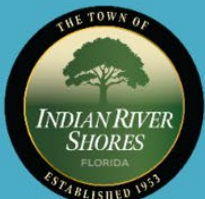
All other fees remain unchanged.

RECOMMENDATION:

Approve Resolution 26-03 Amended Public Safety Fee Schedule.

ATTACHMENTS:

Resolution No. 26-03



RESOLUTION 26-03

A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF INDIAN RIVER SHORES, FLORIDA, AMENDING THE CONSOLIDATED FEE SCHEDULE FOR SERVICES PROVIDED BY THE PUBLIC SAFETY DEPARTMENT INCLUDING OFF-DUTY LAW ENFORCEMENT SERVICES, PUBLIC SAFETY EQUIPMENT STANDBY FOR EVENTS, AND DOG REGISTRATION FEES FOR BEACH ACCESS PURSUANT TO SEC. 90.17 OF THE TOWN CODE OF ORDINANCES; PROVIDING FOR SEVERABILITY; PROVIDING FOR SCRIVENER’S ERRORS AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Town of Indian River Shores Public Safety Department provides integrated public safety services including law enforcement, emergency medical services, and fire protection; and

WHEREAS, the Town provides off-duty law enforcement services and standby public safety support to residents, organizations, and other governmental entities; and

WHEREAS, the Town also administers a registration program for dogs permitted off-leash on designated beaches under **Sec. 90.17 of the Town Code of Ordinances** and Resolution 19-07; and

WHEREAS, the Town Council adopted Resolution 25-06 establishing a consolidated fee schedule for Public Safety Department services; and

WHEREAS, it is in the best interest of the Town to update the standard hourly rate for off-duty law enforcement services to reflect current operational costs;

NOW, THEREFORE, BE IT RESOLVED, BY THE TOWN COUNCIL OF THE TOWN OF INDIAN RIVER SHORES, FLORIDA, AS FOLLOWS:

SECTION 1. OFF-DUTY PUBLIC SAFETY SERVICES

1. Standard Hourly Rate: \$70.00 per hour, per officer
2. Holiday Hourly Rate: \$75.00 per hour, per officer
3. Minimum Billing: Three (3) hour minimum billing period
4. Recognized Holidays:
 - New Year’s Day
 - Presidents Day
 - Independence Day
 - Veteran’s Day
 - Day After Thanksgiving
 - Good Friday
 - Memorial Day
 - Labor Day
 - Thanksgiving Day
 - Christmas Eve
 - Christmas Day
5. Governmental Coordination: The Town Manager or designee may authorize reduced or negotiated rates for services provided to governmental entities with statutory or budgetary limitations.

SECTION 2. PUBLIC SAFETY EQUIPMENT USAGE FOR EVENTS

Equipment Type	Fee (Per Hour)
Fire Engine (Standby)	\$200.00
Ladder Truck (Standby)	\$250.00
Ambulance (Standby)	\$150.00
Command Vehicle (Standby)	\$75.00

1. These fees apply solely to standby coverage at events.
2. These fees include a loaded manpower rate.
3. Ambulance transport services, if rendered, shall be billed separately through the Town’s EMS billing contractor.
4. Reduced or negotiated equipment standby rates may be approved by the Town Manager or designee for other governmental agencies.

SECTION 3. DOG REGISTRATION FOR BEACH ACCESS

In accordance with Sec. 90.17 of the Town Code of Ordinances and as implemented through Resolution 19-07, the following registration fees shall apply:

1. Initial Registration Fee: \$50.00 per dog, valid for one (1) year from the date of approval
2. Annual Renewal Fee: \$5.00 per dog, per year (in-person renewal required)
3. Reference to Policy: All procedures governed by Resolution 19-07 and successor resolutions.

SECTION 4. SEVERABILITY

If any section or provision of this Resolution is held to be invalid, the remainder shall remain in full force and effect.

SECTION 5. EFFECTIVE DATE

This Resolution shall take effect immediately upon adoption. Conflicting prior resolutions are repealed to the extent of conflict.

PASSED AND DULY ADOPTED by the Town Council of the Town of Indian River Shores at a Regular Town Council meeting held on the May 28, 2026.

Brian T. Foley, Mayor

Attest:

Janice C. Rutan, Town Clerk



AGENDA ITEM

TO: Town Council
James Harpring, Town Manager

FROM: Heather Christmas, Finance Director

DATE: May 18, 2026

SUBJECT: Resolution No. 26-04 Amending FY 25/26 Budget

BACKGROUND:

Pursuant to the Town's financial policies, monthly budget reviews are presented to the Town Council, with corresponding budget amendments submitted as needed based on those reports.

This amendment reflects mid-year adjustments to the General Fund and Planning, Zoning & Building Fund, including departmental reorganizations, updated capital project estimates, recognition of right-to-use assets under GASB 96, and revised revenue projections. An additional \$400,000 is transferred to the Infrastructure Replacement Reserve. The net effect is an increase of \$484,441 to General Fund total reserves and a decrease of \$1,066,500 to Building Fund reserves.

RECOMMENDATION:

Approve Resolution No. 26-04

ATTACHMENTS :

Resolution No. 26-04



RESOLUTION NO. 26-04

A RESOLUTION BY THE TOWN COUNCIL OF THE TOWN OF INDIAN RIVER SHORES, FLORIDA FOR THE THIRD AMENDMENT TO THE BUDGET FOR FISCAL YEAR ENDING 2026 AS PROVIDED; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Town adopted the budget for FY 2025 – 2026 by Resolution 25-12 on September 23, 2025; and

WHEREAS, the Town amended the budget for FY 2025/2026 by Resolution 25-19 on November 20, 2025; and

WHEREAS, the Town amended the budget for FY 2025/2026 by Resolution 25-20 on December 11, 2025; and

WHEREAS, an analysis of the revenues and expenditures for the 7 months that ended on April 30, 2026 indicated that certain budget adjustments need formal approval by the Town Council.

NOW, THEREFORE, BE IT RESOLVED by the Town Council of Indian River Shores that:

Section I. The Town Council hereby makes the final amendment for the Fiscal Year beginning October 1, 2025 and ending September 30, 2026 as identified as Exhibit “A.” The revised appropriations, if any, are set out therein and are hereby made to maintain and carry on government functions of the Town of Indian River Shores.

Section II. This Resolution shall take effect immediately upon its adoption.

PASSED AND DULY ADOPTED at a Regular Meeting of the Town Council this 28th day of May 2026.

Brian T. Foley
Mayor

ATTEST:

Janice C. Rutan
Town Clerk

EXHIBIT "A" OF RESOLUTION 26-04
SUMMARY OF BUDGET CHANGES
FOR THE YEAR ENDED SEPTEMBER 30, 2026

**GENERAL FUND
REVENUES**

Revenue Description	Event Description	Amount
Property Taxes	Property tax revenue has been adjusted to reflect projected collections through September 30th, based on actual activity through April. The original budget was set at 96% of the gross levy, consistent with historical collection rates of 95%–97%.	\$ 45,000
Intergovernmental Revenues	Adjusted to reflect projected collections through September 30th across multiple state-distributed revenue sources. The firefighter supplemental revenue was not originally budgeted, as it had been netted against salary expenditures in prior years; this amendment establishes the related revenue	27,000
Grant Revenue	Grant revenue has been adjusted based on projected activity through the mid-year review, including a reduction for a grant that was not pursued, a FEMA reimbursement for administrative costs previously written off, and recognition of \$164,531 for the Vulnerability Assessment Grant following Council approval in February 2026.	154,503
Franchise Fees	Franchise fee revenue was not previously budgeted. The solid waste contract entered into in conjunction with the County includes a 6% franchise fee applicable to the Town. This amendment establishes budgeted revenue based on projected collections through September 30th.	43,000
General Government Administrative Fees	Adjusted to reflect projected activity through September 30th. Lien search fees were previously classified under Fines and Forfeitures; this amendment corrects the classification and establishes the related revenue estimate	11,000
Public Safety Service Charges	Public Safety Service Charges have been adjusted based on projected activity through September 30th. Law enforcement service charges and dog tag fees are trending above the original budget, while ambulance fee collections are projected to fall short.	(1,000)
Postal Center Fees	Postal Center fee revenue has been adjusted based on projected activity through September 30th. Stamp and metered postage sales are both trending below the original budget.	(13,000)
Fines and Forfeitures	Fines and Forfeitures have been adjusted based on projected activity through September 30th. The reduction reflects both the reclassification of lien search fees to General Government Administrative Fees and collections trending below the original budget.	(4,500)
Earned Interest	Earned interest revenue has been adjusted based on projected activity through September 30th. Interest rates have not decreased as much as originally anticipated, resulting in collections trending above the original budget.	13,000
Community Center Fees	Community Center rental revenue has been adjusted based on projected activity through September 30th.	3,000
Cemetery Fees	Cemetery fee revenue has been adjusted based on projected activity through September 30th.	(4,000)
Sale of Surplus Equipment	Adjusted to reflect completed sales during the fiscal year, including proceeds from four surplus vehicles not originally anticipated	42,325
Miscellaneous Revenue	Miscellaneous revenue has been adjusted based on projected activity through September 30th, with collections trending below the original budget.	(1,000)
Insurance Proceeds	Operating insurance proceeds of \$3,000 have been established for unanticipated insurance recoveries. Capital insurance proceeds for the ambulance came in below the original estimate, resulting in a reduction of \$60,500.	(57,500)
Trade-In Proceeds	Trade-in proceeds have been established reflecting the value received upon trade-in of the existing pumper truck in connection with the purchase of the replacement vehicle. This revenue was not previously budgeted as the trade-in was not anticipated at the time the original budget was adopted.	150,000

EXHIBIT "A" OF RESOLUTION 26-04
SUMMARY OF BUDGET CHANGES
FOR THE YEAR ENDED SEPTEMBER 30, 2026

Department	Event Description	Amount
Subscription Proceeds	Records subscription liabilities associated with the Revize LLC website hosting and Laserfiche document management agreements, recognized in accordance with GASB Statement No. 96.	47,436
	Net Change In General Fund Revenues	\$ 407,828

EXPENDITURES

Department	Event Description	Amount
Town Council - Operating	One of the budgeted mailers has been reclassified to the Engineering Department in connection with the CRS Program.	\$ (3,500)
Town Manager - Operating	The Facilities Coordinator salary and related expenditures have been reclassified to the Facilities Department following the promotion to Facilities Director, effective April 2026. Vehicle-related expenditures have also been removed as the Town Manager accepted a car allowance in lieu of a Town vehicle.	(70,500)
Finance Department - Operating	Expenditures have been adjusted to reflect the current staffing model following the retirement and elimination of the HR Manager position and the creation of a Bookkeeper position. The prior cost allocation to the Postal Center has also been removed.	(54,500)
Postal Center - Operating	Postal Center cost of goods sold has been adjusted based on projected activity through September 30th. Stamp and metered postage sales are both trending below the original budget. In addition, the prior cost allocation from the Finance Department has been removed.	(30,625)
Facilities Department - Operating	Facilities Department expenditures have been adjusted to reflect the reorganization from Public Works, including the transfer of the Facilities Director salary and related costs from the Town Manager's budget, with a portion of those costs allocated across multiple funds based on administrative support responsibilities. Dune restoration funding has been removed as no sand restoration is planned for the current fiscal year, and \$15,000 in repairs and maintenance has been reclassified to capital outlay for the Beachcomber Lane gate. Remaining adjustments reflect projects coming in below original estimates, partially offset by utilities trending above budget.	(60,000)
Public Safety - Operating	Certain items originally budgeted as capital do not meet the capitalization threshold and have been reclassified to operating expenditures. These include fire hose, copiers, furniture, and float vests.	68,300
General Administration - Operating	Expenditures have been adjusted based on projected activity through September 30th. Insurance premiums came in below estimate and merit contingency was not fully utilized. Contractual services reflect the cost of an HR review not originally budgeted.	(36,000)
Information Technology - Operating	Expenditures have been reduced to reflect lower-than-anticipated costs for the server room upgrade and the reclassification of website and document management costs to capital under GASB 96.	(25,000)
Planning & Zoning Board/Code Enforcement - Operating	Code Enforcement expenditures have been reduced to reflect a reallocation of the Code Enforcement Officer's salary and related costs. The original budget allocated 30% of personnel costs to the Building Department; actual activity is trending above that allocation and has been revised to 50% for forecasting purposes, resulting in a greater portion of costs being charged to Building than originally anticipated.	(20,000)
Town Engineer - Operating	In February 2026, the Town Council approved an unbudgeted contract with Coastal Waterways to update the Town's Comprehensive Vulnerability Assessment. This amendment establishes the related engineering expenditures, offset by the grant revenue recognized in the revenue section of this amendment. In addition, one of the budgeted mailers has been reclassified from the Town Council budget in connection with the CRS Program	168,000

EXHIBIT "A" OF RESOLUTION 26-04
SUMMARY OF BUDGET CHANGES
FOR THE YEAR ENDED SEPTEMBER 30, 2026

Department	Event Description	Amount
Town Council - Capital	Additional microphones and a wireless receiver are being purchased to improve sound quality for speakers during Town Council meetings.	7,516
Postal Center - Capital	The postage meter came in less than originally budgeted.	(2,500)
Facilities Department - Capital	Capital expenditure differences reflect the addition of the Beachcomber Lane gate, reclassified from repairs and maintenance	15,000
Public Safety - Capital	Certain items originally budgeted as capital do not meet the capitalization threshold and have been reclassified to operating expenditures. These include fire hose, copiers, furniture, and float vests.	(68,300)
Public Safety - Capital	The Public Safety Building Remodel did not use all of the contingency budget.	(100,000)
Information Technology - Capital	Establishes right-to-use assets for two subscription arrangements under GASB 96: the website hosting and content management system and the document management system	75,496
General Administration – Capital	The budget for the Chamber roof, HVAC, and cupola replacement has been adjusted to reflect updated project estimates.	(75,000)
Cemetery - Capital	The cemetery irrigation project was cancelled, releasing the related appropriation.	(25,000)
Transportation – Capital	The roadway capital budget has been increased to reflect additional appropriations needed for the Pebble Lane and Beachcomber Lane roadway and sewer improvement projects currently underway.	160,000
Net Change In General Fund Expenditures		\$ (76,613)

Other Uses/Contingencies

Category	Event Description	Amount
Other Uses – Assigned Reserves	An additional \$400,000 is being transferred from unassigned reserves to the Infrastructure Replacement Reserve to further fund future capital infrastructure needs	\$ 400,000
Other Uses – Unassigned Reserves	Reduction in unassigned reserves reflecting the transfer to the Infrastructure Replacement Reserve	(400,000)
Net Change In General Fund Other Uses/Contingencies		\$ -
Net Change In General Fund Total Reserves		\$ 484,441

Planning, Zoning & Building Fund Expenditures

Department	Event Description	Amount
Building Department - Operating	Pension contributions have been reduced as the Town was not required to make contributions to the general employee benefit fund in the current fiscal year. Professional services are coming in below budget, and training costs reflect the deferral of MCP classes to fiscal year 2026-2027	\$ (30,000)
Building Department - Capital	In February 2026, the Town Council approved the purchase of a new vehicle for the Building Department not originally budgeted. Additionally, a budget adjustment is needed to recognize the expansion of the building department facility.	1,096,500
Change In Fund Expenditures		\$ 1,066,500
Net Change In Fund Reserves		\$ (1,066,500)



AGENDA ITEM

TO: Town Council

FROM: James Harpring, JD
Town Manager

DATE: May 18, 2026

SUBJECT: Approval of Comprehensive Plan Amendments

BACKGROUND:

In 2025 the Town conducted a required Evaluation and Review of the Comprehensive Plan. Also, in 2025 Senate Bill 180 (SB 180) was adopted by the Florida Legislature and signed by the Governor. This legislation had implications on amendments to the Comprehensive Plan. SB 180 created a section which prohibits designated municipalities from proposing or adopting more restrictive or burdensome policies, regulation or procedures concerning review, approval or issuance of a site plan, development permit, or development order. As a result, the Town amended the Comprehensive Plan consistent with the requirements of SB 180.

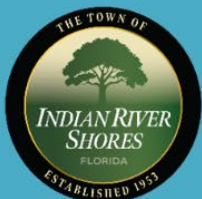
Section 30.32, Code of Ordinances designates the Planning, Zoning and Variance Board as the Local Planning Agency (LPA) for purposes of consideration of the Comprehensive Plan. The LPA is scheduled to meet on May 27, 2026 to review the proposed amendments to the Comprehensive Plan. Comments and recommendations will be provided to the Town Council at the Council meeting on May 28, 2026.

RECOMMENDATION:

Approve the proposed amendments to the Comprehensive Plan.

ATTACHMENTS:

1. Ordinance No. 594
2. Draft Comprehensive Plan – Town of Indian River Shores



ORDINANCE NO. 594

AN ORDINANCE OF THE TOWN OF INDIAN RIVER SHORES, FLORIDA, WITH ATTACHMENTS, AMENDING THE COMPREHENSIVE PLAN OF INDIAN RIVER SHORES PROVIDING FOR THE AMENDMENT TO THE TEXT OF VARIOUS ELEMENTS AND THE FUTURE LAND USE MAP SERIES OF THE COMPREHENSIVE PLAN RESULTING FROM THE DIRECTIVES OF THE TOWN COUNCIL AFTER THE COMPLETION OF THE EVALUATION AND APPRAISAL REVIEW; PROVIDING FOR A BUSINESS IMPACT ESTIMATE; PROVIDING FOR SCRIVENER'S ERRORS, THE REPEAL OF ALL CONFLICTING ORDINANCES, AND AN EFFECTIVE DATE.

WHEREAS, the Town Council of the Town of Indian River Shores, Florida (Town), has adopted a Comprehensive Plan pursuant to Chapter 163, Part II, Florida Statutes, formerly known as the "Local Government Comprehensive Planning Act" and now known as the Community Planning Act (the Act); and

WHEREAS, the then Florida Department of Community Affairs, now known as the Florida Department of Commerce, has previously determined that the Town's Comprehensive Plan was "in compliance" with the Act; and

WHEREAS, in 2025 Senate Bill 180 (SB 180) was adopted by the Florida Legislature and signed by the Governor. SB 180 created a section which prohibits designated municipalities from proposing or adopting more restrictive or burdensome policies, regulation or procedures concerning review, approval or issuance of a site plan, development permit, or development order. The proposed amendments to the Comprehensive Plan are consistent with the requirement of SB 180; and

WHEREAS, pursuant to Section 163.3174(4)(a), Florida Statutes, the Town's Local Planning Agency (the LPA) has conducted a public hearing to consider amendments to the text of the various elements and the future land use map series of the Comprehensive Plan (the Amendments) as a result of the Town Council's completion of an Evaluation and Appraisal Review (EAR); and

WHEREAS, the LPA has recommended that the Town Council adopt the Amendments as set forth in the attached Exhibit "A" and "Exhibit B" which are incorporated herein; and

WHEREAS, the Town Council has determined that the Amendments are in compliance with the Act; and

WHEREAS, pursuant to Section 163.3184(11), Florida Statutes, the Town Council has conducted a public hearing to consider the transmittal of the Amendments, and after considering public comments, the recommendations of the Local Planning Agency, and the Planning and Zoning Department, has affirmatively voted to transmit the Amendments.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF INDIAN RIVER SHORES, FLORIDA, THAT:

Section 1: Amendments.

Ordinances of the Town of Indian River Shores, entitled, “Comprehensive Plan of the Town of Indian River Shores”, are hereby amended as set forth in Exhibit A and the Future Land Use Map Series hereby amended as set forth in Exhibit B, copies of which are attached hereto an incorporated herein.

Section 2: Transmission.

The Town Clerk is hereby directed to transmit the required copies of the Amendments to the Department of Commerce and all other parties as required by Section 163.3184(3)(c)2., Florida Statutes.

Section 3: Business Impact Estimate.

Pursuant to Section 166.041(4), Florida Statutes, the Town is required to prepare a business impact estimate for certain proposed ordinances. The purpose of Ordinance No. 594 is to comply with the provisions of Senate Bill 180 (2025) and Chapter 163, Florida Statutes. As such, no business impact estimate is required.

Section 4: Severability.

If any section, paragraph, sentence, clause, phrase or word of this ordinance is for any reason held by a court to be unconstitutional, inoperative or void, such holding shall not affect the remainder of this ordinance.

Section 5: Repeal of Laws in Conflict.

All ordinances or parts of ordinances in conflict herewith or inconsistent with the provisions of this Ordinance are hereby repealed to the extent of such conflict.

Section 6: Effective Date.

This ordinance shall take effect immediately upon its passage and adoption by the Town Council of the Town of Indian River Shores.

Newspaper Publication:	May 15, 2026
Local Planning Agency:	<u>May 27, 2026</u>
1 st Reading:	May 28, 2026 (Transmittal Hearing)
Newspaper Publication:	
2 nd Reading:	

I HEREBY CERTIFY that the foregoing Ordinance was passed by the Town Council of the Town of Indian River Shores, Florida on the ____ day of May 2026.

Brian T. Foley, Mayor

ATTEST:

Janice C. Rutan, Town Clerk

EXHIBIT A



Town of Indian River Shores Comprehensive Plan Update

DRAFT

May 2026

Prepared by:

Town of Indian River Shores and Kimley-Horn and Associates, Inc.

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PREFACE

In the late 1980s, the Town began the first draft of the Comprehensive Plan outlining the Goals, Objectives and Policies that would guide the Town through several decades. The document was subsequently finalized and submitted to the former Department of Community Affairs in 1990. From that point forward, updates were discussed but it wasn't until 2009, that the Town established an ordinance that created the concurrency management system that established levels of service for roads, sanitary sewers, solid waste, drainage, potable water, recreation and public school facilities. Then in 2016, the Town adopted a Land Development Code (LDC) permanently codifying development regulations including standards for zoning, trees and landscaping, mangroves, shoreline protection, wetlands protection, water conservation, reinforcing concurrency standards and floodplain management. This LDC fulfilled the vision of nearly every aspect of the Goals, Objectives and Policies found in the Comprehensive Plan.

In 2019, the first update to the Comprehensive Plan's was undertaken since its inception. Since 1990, many statutory requirements have changed for Municipal Comprehensive Plan documents. This updated Comprehensive Plan seeks to reflect those changes. The Town remains primarily residential, offering a beautiful barrier island paradise for its residents. The Town's residential population has grown incrementally over the past forty years pace as the community was developed, but there has not been a significant change in the demographics. The Town is now approaching residential buildout and there are no anticipated significant changes in the Town demographics. The Town sought to update the elements that exist currently in the plan. These are the Land Use, Housing, Public Facilities, Coastal Management, Conservation, Recreation and Open Space, Intergovernmental Coordination, and General Monitoring. The intent of the update was to review which goals, objectives and policies had been achieved by the Town and reflect the changes in the State's regulations and Comprehensive Plan requirements since first adopted. With changes in Statutes, the formalization of the Town's Land Development Code, and the advancement of the Florida Building Code, some of the policies are simply obsolete and are scheduled for deletion. With this adopted Comprehensive Plan, the Town sets into place the guide posts for development for the next fifteen years. It is anticipated that this submittal will fulfill any/all Municipal Comprehensive Plan requirements as promulgated by the Florida Department of Economic Opportunity.

FUTURE LAND USE ELEMENT

Purpose

The purpose of the Future Land Use Element is to designate the proposed future general distribution, location, and extent of land uses within the Town of Indian River Shores. As an element of the Town Comprehensive Plan required by Section 163.3177(6)(a), Florida Statutes, the Future Land Use Element endeavors to provide a balance of uses that foster vibrant and viable communities, economic development opportunities, and address outdated development patterns, such as antiquated subdivisions. The amount of land designated for future land uses should allow the operation of real estate markets to provide adequate choices for both permanent and seasonal residents, as well as business, and may not be limited solely by the projected population.

GOAL 1-1 LAND USE GOALS, OBJECTIVES, AND IMPLEMENTING POLICIES. This section stipulates and implements goals, objectives, and policies for the Future Land Use Element pursuant to 163.3177(6)(a), F.S.

GOAL 1.1: LAND USE. ~~Ensure that the character and location of land uses reflect best management practices and principles of resource conservation, promote orderly land use transition, and minimize threats to health, safety, and welfare which may be engendered by incompatible land uses, environmental degradation, hazards, and nuisances.~~ Provide a balance of land uses that foster vibrant, viable communities and opportunities for the Town through ensuring that the character and location of land uses reflect best management practices and the principles of orderly land use transition, environmental conservation, and social welfare.

OBJECTIVE 1.1.1: MANAGE AND COORDINATE FUTURE LAND USE. ~~The Town of Indian River Shores shall continue to review and amend the LDC when appropriate, including performance standards which ensure that land development activities, resource conservation, and infrastructure issues are managed in a manner that includes timely coordination with County, Regional, and State agencies having jurisdictional authority. Management of land and physical improvements identified on the Future Land Use Map shall be coordinated in order to protect and/or conserve natural systems, including topography, soil conditions, vegetation, natural habitat, potable water wellfields, and other environmentally sensitive land and water resources. Land use shall also be predicated on availability of man-made infrastructure and service systems required to support respective land use activities. Manage and coordinate Future Land Use through the establishment of Future Land Use Designations with regulations which ensure concurrency with county, regional, and state agencies, as well as preserve and protect living and non-living natural resources.~~

Policy 1-1.1.1: Future Land Use Map and Related Policies. ~~The Future Land Use Map and related policies identified in the following section entitled "Future Land Use Map" provides definitions of land use designations and qualitative standards which shall be applied in allocating future land uses.~~

Policy 1-1.1.2: LDC Reviewed and Revised. ~~Existing regulations governing zoning, signage, landscaping, beach and dune preservation, tree protection, flood plain management, surface water management, water and wastewater systems, and other land and water management regulations shall be revised and/or updated as needed in order to:~~

a. ~~Effectively regulate future land use activities and natural resources identified on the Future Land Use Map;~~

b. Adequately protect private property rights; and

c. Implement the goals, objectives, and policies stipulated in the Comprehensive Plan.

These ordinances have been incorporated into the Town's LDC pursuant to Chapter 163.3202, F.S., and contain specific and detailed provisions which as a minimum:

a. Regulate the subdivision of land;

b. Regulate the use of land and water consistent with this Element, ensure the compatibility of adjacent land uses, and provide for open space;

c. Protect the environmentally sensitive lands and islands designated on the Future Land Use Map and in the Conservation Element;

d. Regulate areas subject to seasonal and periodic flooding and provide for drainage and stormwater management;

e. Protect potable water wellfields and aquifer recharge areas;

f. Regulate signage;

g. Ensure safe and convenient onsite traffic flow and vehicle parking needs; prohibit development within future rights-of-way; and

h. Provide that development permits shall not be issued which result in reducing the level of services for impacted public facilities below the level of service standards adopted in this Comprehensive Plan.

Policy 1-1.1.3: Standards for Residential Density. The Town's amended LDC has been adopted to implement this Plan and is consistent with the following standards for residential densities indicated below. (Note: Nonresidential development intensities are established in Policies 1-2.2.1, 1-2.3.1, 1-2.4.1, 1-2.6.1(a), and 1-2.6.2):

a. Low density residential—a maximum density of up to three (3) residential units per gross acre;

b. Moderate density residential—a maximum density of up to six (6) residential units per gross acre;

c. Environmentally Sensitive Islands—a maximum density of up to one (1) residential unit per 5 gross acres; and

d. Environmentally Sensitive Lands: A maximum density of one (1) unit per five (5) acres for wetlands excepting marginal wetlands which shall have a density of one (1) unit per acre. A transfer of development rights may occur to contiguous receiving areas with a maximum density no greater than one and one-half (1.5) times the applicable density designated on the Comprehensive Plan.

Table 1: Percent of Land Use by Classification

FLUM	Acres	%
Agriculture	0	0.000
Institutional Services	9.52	0.285
Limited Commercial Development	7.89	0.238
Low Density Residential Development	1171.66	35.130

Moderate Density Residential Development	458.93	13.760
Open Space and Recreation	279.26	8.373
Residential Conservation/Environmentally Sensitive	671.32	20.128
Residential Conservation/Environmentally Sensitive Island	736.62	22.086

Policy 1-1.1.4: Non-Residential Development Standards. The Town's amended LDC shall address the location and extent of nonresidential land uses, including agricultural uses and public and semi-public facilities and services, in accordance with the Future Land Use Map and the policies and descriptions of types, sizes, and densities and intensities of land uses contained in this Element.

Policy 1-1.1.6: Wetland Protection. The LDC includes provisions for protecting wetlands and shall ensure procedures for enforcing Objective 1-2.6 and Policy 1-2.6.1 and 2 cited herein. No environmentally sensitive wetlands, excepting marginal wetlands as described in the wetland protection ordinance, shall be developed for any purpose other than open space and passive recreation, restricted accessway to an essential public service, bird sanctuary, approved mosquito control activities, stormwater management area, and related accessory uses. Any such usage must comply with all comprehensive plan goals, objectives, and policies set forth herein, including Policy 1-2.6.1 and 2. Furthermore, no coastal high hazard areas shall be developed for any use, excepting:

- 1) State and locally approved elevated beach access structures;
- 2) State and locally approved beach and dune stabilization improvements; or
- 3) Approved structures which comply with all other applicable Federal, State, and local ordinances.

No development shall occur on unbridged islands within the Indian River Lagoon pursuant to Policy 1-2.6.2, unless the Federal and State permitting agencies having jurisdiction approve road and bridge permits required to establish satisfactory access and grant dredge and fill permits, then in such case Policy 1-2.6.2 cites performance standards which provide a management approach that allows for the reasonable use of such isolated islands assuming compliance with all other applicable laws and ordinances. The policy mandates approval of the road and bridge permits by the State and/or Federal agencies having jurisdiction prior to granting of final Town plan approvals, development orders, or permits.

Policy 1-1.1.7: Provision of On-Site and Off-Site Improvements. Prior to receiving a development permit, plans for development or redevelopment shall be evaluated by the Town. Prior to receiving a development permit, the applicant's plans must incorporate necessary on- and off-site improvements or equitable contributions in lieu thereof which are required as part of a development application pursuant to the Comprehensive Plan or any other requirement of the Code of Ordinances, as exists or as may hereinafter be amended. Supportive facilities, services, or other improvements (or equitable contributions in lieu thereof), required by ordinance, shall be agreed to by the applicant prior to the Town's approval of a development petition and facilities shall be constructed as agreed upon prior to issuance of a development permit. The intent of this policy is that all development applications include satisfactory plans providing for required on-site and off-site improvements, or equitable contribution in lieu thereof, to ensure that the Town of Indian River Shores does not assume unanticipated fiscal liabilities for supportive facilities which may be expressly attributed to new development. The provisions of this policy are incorporated in the Town's LDC as concurrency requirements.

OBJECTIVE 1-2.1 ALLOCATING RESIDENTIAL DEVELOPMENT. The Future Land Use Map shall allocate residential density based on the following considerations: past and projected future population and housing trends and characteristics; provision and maintenance of quality residential environments; protection of environmentally fragile natural systems; recognition of the limitations imposed by traffic circulation system and evacuation preparedness; and the need to plan for smooth transition in residential densities.

Policy 1-2.1.1: Density Defined. All residential densities denoted on the Future Land Use Map reflect the maximum gross density permitted on the land. Maximum gross residential density shall be determined by dividing the "maximum allowable units" by the "gross land area". No area between the mean high water and the coastal construction control line (CCCL) shall be included as land area in calculating residential density. Gross land area shall be defined as those contiguous land areas under common ownership subject to the following provisions and exceptions:

a. In cases where land abuts the tidal waters of the Atlantic Ocean, Indian River, and all tributaries and man-made canals thereof, the boundary of the land shall be delineated as established by State statutes (Chapter 177, Part II, Coastal Mapping), or as may be amended. The maps delineating such boundaries for properties within Indian River Shores are on file with the Clerk of the Circuit Court for Indian River County.

b. No submerged land or aquatic areas waterward of the boundary above described shall be included as gross land area under this definition. c. No land areas proposed to be allocated to nonresidential uses shall be included under this definition, excepting contiguous areas proposed for:

- Utilities under common ownership and principally supporting the residential use;
- Recreational facilities for the primary use of on-site residents; and
- Dedication to the Town or other Town approved agencies or Town approved not for profit corporations.

Density is expressed in terms of a range of residential units up to a specified maximum. Where so stated as a range, the maximum density is not guaranteed by right. Zoning and site plan review criteria and procedures shall ensure that specific density assigned to new development is compatible and consistent with established residential development patterns and provides equitable use of the land. Criteria to be considered in allocating density shall include the following:

- a. Protect the integrity and stability of established residential areas;
- b. Ensure smooth transition in residential densities;
- c. Require application of sound landscaping and urban design principles and practices;
- d. Protect environmentally sensitive areas;
- e. Minimize the impact of hurricane and flood hazards;
- f. Coordinate with Indian River County; and
- g. Provide equitable rights to the use of the land.

Policy 1-2.1.2: 1.1.1.1: Low Density Residential Development (LD)

Purpose: Areas delineated on the Future Land Use Maps for the LD Future Land Use Designation are generally developed for single-family residential development and will be maintained as residential neighborhoods. ~~low density residential development shall be developed and/or maintained as single family residential areas with a maximum density of up to three (3) dwelling units per acre. Specific densities shall be determined by such factors as natural features of the land, character of undeveloped land and surrounding development, level of accessibility, housing supply and demand, and adequacy of public facilities. Supportive community facilities and accessory land uses may be located within areas designated LD. The Town LDC shall provide regulatory procedures for considering such uses.~~

~~The low density designation is established to protect the quality and character of existing stable low density single family neighborhoods, preserve open space, remove encourage densities which are compatible with existing developments, natural features of the land, and existing and projected public services and facilities for the area.~~

Maximum Density Permitted: The maximum residential density permitted for the LD Future Land Use designation is three (3) dwelling units per acre.

Maximum Intensity Permitted: The maximum building intensity permitted for the LD Future Land Use designation is two (2) stories or thirty (30) feet in height, and a maximum of fifty (50) percent lot coverage.

Policy 1-2.1.3: 1.1.1.2: Moderate Density Residential Development (MD)

Purpose: Areas delineated on the Future Land Use Map with the MD designation are generally developed for neighborhoods which allow for low-rise multifamily development. These areas are concentrated along the Jimmy Buffett Memorial Highway (State Road (SR) A1A) corridor. ~~moderate density residential development shall be developed and/or maintained as residential neighborhoods. This designation allows for multifamily and single family structure types and maximum density of up to six (6) dwelling units per acre. The moderate density designation is intended to ensure sufficient land area for developments of moderate density and the adequacy of existing and/or projected public facilities for the area. Supportive community facilities and accessory land uses may be located within areas designated MD. The Town's LDC shall provide regulatory procedures for considering such uses.~~

~~Review of specific densities of developments shall be directed toward preserving stability of established residential areas. Developments of moderate density should be located so that they provide a smooth transition between low density residential areas and areas developed and/or designated for institutional uses, or commercial development, and existing high density residential developments.~~

Maximum Density Permitted: The maximum residential density permitted for the MD Future Land Use designation is six (6) dwelling units per acre.

Maximum Intensity Permitted: The maximum building intensity permitted for the MD Future Land Use designation is three (3) stories or forty (40) feet in height, and a maximum of fifty (50) percent lot coverage.

OBJECTIVE 1-2.5: CONSERVING ENVIRONMENTALLY SENSITIVE LANDS AND ISOLATED ISLANDS. The Future Land Use Maps 1-2 and 1-3 identify the general location of conservation resources including the Indian River estuarine system, flood plain areas; mangrove areas; coastal marshes; functional wetlands; the Atlantic Ocean beach and dune system, including the coastal high hazard area. Hydric hammocks and mixed hardwood swamp are identified as wetlands which shall be protected.

These include areas that are not sufficiently large or distinct to be accurately mapped in the Plan, but shall be considered and mapped during the development review process in order to ensure technically sound assessment of wetland boundaries, transition zones, and uplands as defined in the Town wetland protection ordinance. Also, any area on the State's list of historic or archaeological significance shall be reviewed during the development review process.

Similarly, the on-site assessments shall identify upland sub-areas within the environmentally sensitive areas which may have very limited development potential. Such uplands shall be deemed developable upon the owner/applicant's demonstration that roadway improvements and other requisite infrastructure can be made available concurrent with the impacts of the proposed new development as set forth in the Town's concurrency management procedures. All such infrastructure shall meet adopted levels of service (LOS) standards and shall not reduce the LOS of existing infrastructure below the adopted minimum standards.

The Future Land Use Maps 1-1 to 1-3 designate areas with extensive wetland systems as well as the hurricane high hazard area as environmentally sensitive with the RC/ES or RC/ESI designation. In addition, isolated islands within the Indian River Lagoon having extensive mangrove fringe, coastal marsh, and/or functional wetlands are also identified as environmentally sensitive islands. General performance criteria and procedures for regulating development within these areas are incorporated in this section. These areas are allocated a designation of "Residential Conservation" as explained below:

Policy 1-2.5.4 1.1.1.3: Management Policy for Residential Conservation/Environmentally Sensitive Lands (RCES or RCESL). (RC/ES)

The Future Land Use Map Residential Conservation Environmentally Sensitive (RC/ES) or Residential Conservation Environmentally Sensitive Islands (RC/ESI) designations have been applied to lands which generally:

- Have hydric soils as illustrated on the Indian River County Soil Conservation District general soil maps and/or have been identified in the U.S. Department of Interior, Fish and Wildlife Service, National Wetlands Inventory;
- Areas located within the 100-year floodplain;
- Exhibit wetland vegetative species as defined in the Town's Wetland Protection Ordinance; and
- Beach and dune system and coastal high hazard area which is designated "CCH/ES" and includes all land seaward of the coastal construction control line (CCCL) and the VE-Zone as delineated on the FEMA Maps.

However, as stipulated in Objective 1-2.5, portions of these lands may be developed.

a. Development of Environmentally Sensitive Areas (including Wetlands, Mangrove Systems, Beach and Dune System, Coastal High Hazard Areas) are Prohibited. No development aside from those uses listed below shall be allowed in an environmentally sensitive area unless approved by the applicable Federal, State and/or local agencies. Development and conservation activities shall be managed pursuant to policies and procedures stipulated in the Town's adopted Wetland Protection Ordinance. No development shall occur in the coastal high hazard area (i.e., high velocity storm surge area) including the beach or dune area, excepting State and locally approved elevated beach access structures; State and locally approved beach and dune stabilization improvements; or State approved structures.

~~1. Permitted uses within wetlands assuming the owner/applicant receives all applicable permits from Federal and State permitting agencies as well as local approval pursuant to policies and procedures established in the Town's Wetland Protection Ordinance.~~

- ~~• Passive recreation~~
- ~~• Open space~~
- ~~• Restricted accessway to an essential public service~~
- ~~• Bird sanctuary~~
- ~~• Stormwater management~~
- ~~• Accessory uses~~

~~2. Conditional uses on uplands and/or marginal wetlands determined by the State and Town to have only marginal value to the public based on assessments of their respective physical and biological functions as stipulated in the Town's wetland protection ordinance (Note: No conditional use shall be permitted unless the owner/applicant demonstrates to the satisfaction of the State and the Town that the proposed conditional use shall not adversely impact the overall quality of the physical and biological functions of the wetland areas). These may include:~~

~~• Single family structures and housing and incidental accessory uses approved by the Town Council at a density of one unit per five (5) acres for wetlands, excepting marginal wetlands which shall have a density of one (1) unit per acre. A transfer of development rights may occur to contiguous receiving areas with a maximum density of no more than one and one half (1.5) times the applicable density designated on the Comprehensive Plan;~~

~~• Essential water dependent public facilities or utilities, including mosquito control activities;~~

~~• The Town may permit an accessory use to an approved residential development, like a golf course designed to preserve the biological and physical functions of wetlands.~~

~~b. Land Development Code. The Town has amended its LDC to incorporate regulatory procedures and performance criteria for ensuring that functional wetlands and mangrove areas are regulated pursuant to applicable Federal, State, and local laws. These regulations shall be reviewed and amended, as necessary.~~

~~c. Compensatory Mitigation. Compensatory Mitigation, if required by Florida's Department of Environmental Protection, shall meet State and local requirements.~~

~~d. Conservation of Coastal High Hazard Area and Consistent with Hurricane Evacuation Plan. No development (Note restrictions on development alternatives cited in Subsection 1-2.5.1(a) for coastal high hazard area) shall be approved in the coastal high hazard area unless such development is approved by the State agency having jurisdiction. Furthermore, no development shall be approved within the Town of Indian River Shores without prior demonstration that the development shall be consistent with the Indian River County Hurricane Evacuation Plan. Finally, all development shall be consistent with the goal of directing populations away from coastal high hazard areas.~~

~~e. Additional Requirements for Any Development Approval along the Estuary. No development shall be permitted within a buffer area located within an average minimum of twenty-five (25) feet of the jurisdictional wetland boundary along the perimeter of an isolated island as well as along the perimeter of a wetland fringe along the main barrier island. The buffer area shall remain at least fifteen (15) feet at the narrowest point and must average at least twenty-five feet in width provided, however, that minimum access may be allowed for approved water dependent activity. A vegetated berm and swale or other approved protection measures shall be installed on the upland property on the hardwood side of the buffer area for water quality control purposes. Within the buffer area all exotic vegetation shall be removed and shall be replaced by hardwoods. No impervious surface should be permitted within this buffer area.~~

~~The purpose and intent of this requirement is to:~~

- ~~1) Reduce the density and intensity of development to a reasonable level in order to reduce exposure to loss of life from hurricane impacts and to promote more effective hurricane evacuation where narrow State and local roadways and bridges impose constraints to evacuation activities.~~
- ~~2) Prevent encroachment into the highly sensitive mangrove wetland and promote opportunities for enhancing the value and function of these vital wetland areas.~~
- ~~3) Provide maximum opportunity for water quality control and, at the same time, prevent surface water runoff and related nutrients and other pollutants from degrading water quality within the Indian River Lagoon.~~

~~**Purpose:** Areas designated on the Future Land Use Map with the RC/ES Future Land Use designation are generally undeveloped or developed with low-density single-family detached dwelling units that pose a minimal adverse impact on natural resources. The conservation lands under this designation are typically wetlands, such as hydric hammocks, highly sensitive mangrove communities, mixed hardwood swamplands, and other environmentally sensitive habitats which must be protected.~~

~~**Maximum Density Permitted:** The maximum residential density permitted for the RC/ES Future Land Use designation is one (1) dwelling unit per five (5) acres, excepting marginal wetlands, which are permitted a maximum residential density of one (1) dwelling unit per acre.~~

~~A transfer of development rights may occur to contiguous receiving areas with a maximum residential density of no greater than one and one-half (1.5) times the applicable density.~~

~~**Maximum Intensity Permitted:** The maximum building intensity permitted for the RC/ES Future Land Use designation is two (2) stories or thirty (30) feet in height.~~

~~**Policy 1-2.5.2 1.1.1.4: Management Policy for Residential Conservation/Environmentally Sensitive Island (RC/ESI).**~~

~~The RC/ESI designation identifies environmentally sensitive isolated islands within the corporate limits which currently do not have access and/or have not received approval for access to the mainland of the Town. These islands are not only environmentally sensitive but also lack available or anticipated future public infrastructure or requisite protective and emergency services.~~

~~a. Development Restrictions and Management Techniques. The development restrictions and management techniques identified for lands designated "Residential Conservation/Environmentally~~

~~Sensitive" (RC/ES) in Policy 1-2.5.1 (a-e) shall apply to isolated islands, excepting that density on areas designated ESI shall have a maximum density of one (1) unit per five (5) acres.~~

~~b. Additional Performance Criteria. In addition to the provisions cited in paragraph "a" above, no development shall be approved unless a subdivision plat has been submitted which incorporates the following prerequisite conditions prior to issuance of a development order or permit:~~

- ~~• A plan for vehicular access to the main barrier island shall receive approval from all applicable governmental agencies and the Town of Indian River Shores.~~
- ~~• Plans for the provision of requisite public infrastructure and emergency protective services, i.e., police, fire and ambulance shall be approved by the Town of Indian River Shores.~~
- ~~• Proof of compliance with all applicable regulations and permitting procedures of the Federal, State and local environmental agencies, as well as the Indian River Land Trust, shall be provided.~~

Purpose: Areas designated on the Future Land Use Map with the RC/ESI Future Land Use designation are generally undeveloped or developed with very low-density single-family detached dwelling units that pose a minimal adverse impact on natural resources. The conservation lands under this designation are primarily detached from the main Indian River Shores barrier island. These areas have significant ecological importance and are vital to the ongoing environmental health of the Indian River Lagoon. All development is strictly limited under this designation to prevent adverse effects. Non-residential development is not permitted in this designation, aside from municipal uses.

Maximum Density Permitted: The maximum residential intensity permitted for the RC/ESI Future Land Use designation is one (1) dwelling unit per five (5) acres.

Maximum Intensity Permitted: The maximum building intensity permitted for the RC/ESI Future Land Use designation is two (2) stories or thirty (30) feet in height.

OBJECTIVE 1-2.2: Policy 1.1.1.5: ALLOCATING Limited Commercial Development (CL)

Purpose: Pursuant to Ord. 412, areas designated on the Future Land Use Map with the CL Future Land Use designation are for commercial development along the Jimmy Buffet Memorial Highway (SR A1A) corridor. The Town is primarily a residential community, and due to the sensitive environmental character of the Indian River Shores barrier island, the scale and nature of commercial activity is limited to relatively low intensity non-residential development in non-environmentally sensitive areas. Shops and businesses within a CL designated area cater to localized markets, specialized markets with customized demands, or tourist/resort-oriented markets in the immediate vicinity.

~~The Future Land Use Map shall designate appropriate locations for limited commercial development. Such designations shall be allocated to sites having direct access to State Road A1A. Due to the restricted level of access and the sensitive environmental character of the barrier island Town, the scale and nature of commercial activity shall be very limited. This approach is consistent with the overall goal of preserving the residential character of the community. This Policy also is reflective of the barrier island Town's inability to provide infrastructure to service the demands of a more diversified economy, including more intensive economic activities.~~

Maximum Density Permitted: There is no residential density permitted in the CL Future Land Use designation.

Maximum Intensity Permitted: The maximum building intensity permitted for the CL Future Land Use designation is two (2) stories or thirty (30) feet in height.

Policy 1-2.2.1: Limited Commercial Development Land Use Designation. Shops and businesses within a limited commercial designation shall cater to the following:

- a. Localized markets as opposed to regional markets;
- b. Specialized markets with customized market demands; or
- c. Tourist or resort oriented markets in the immediate vicinity.

The specific uses to be allowed in commercial areas shall be defined within the Zoning Code. The Town's Zoning Code should also stipulate conditions that safeguard the stability and character of adjacent residential areas. For example, the hours of commercial operations should be regulated to ensure adequate protection of adjoining residential uses. The maximum intensity of any new limited commercial development measured in average weekday vehicle trips per 24 hour period shall be 140 per 1,000 sq. ft. of gross floor area.

OBJECTIVE 1-2.3: ALLOCATING INSTITUTIONAL SERVICES (INS). The Future Land Use Map shall designate appropriate locations for institutional land use activities.

Policy 1-2.3.1: Institutional Land Use Designation. 1.1.1.6: Institutional Services (INS)

Purpose: Areas designated on the Future Land Use Map with the INS Future Land Use designation are for the development of public and semipublic facilities, such as government administration buildings, public safety services, educational institutions, places of worship, cultural or civic centers, and other similar facilities. Lands designated for the INS designation contain sufficient acreage and open space to be properly screened and buffered to minimize potential adverse impacts to adjacent land uses.

The institutional service land use designation has been established to accommodate the development of public and semipublic facilities such as government administration buildings; fire, police and rescue services; educational institutions; places of worship; cultural or civic centers; and similar uses as specified in the Zoning Code. Lands designated for institutional services shall contain sufficient acreage and open space and be properly screened and buffered in order to minimize potential adverse impacts on adjacent land uses. The maximum intensity of institutional activity measured in average weekday vehicle trips per 24 hour period is 70 per 1,000 sq. ft. of gross floor area. This land use designation accommodates the Town Hall, the Public Safety Building and significant open space surrounding these facilities. The Town does not include any educational facilities and the Indian River School Board does not anticipate any such facilities being constructed in the future.

Maximum Density Permitted: There is no residential density permitted in the INS Future Land Use designation.

Maximum Intensity Permitted: The maximum building intensity permitted for the INS Future Land Use designation is 0.35 Floor Area Ratio (FAR).

OBJECTIVE 1-2.4: ALLOCATING OPEN SPACE AND RECREATION (OSR). The Future Land Use Map shall designate appropriate locations as open space and recreation.

Policy 1-2.4.1: Open Space and Recreation Land Use. 1.1.1.7: Open Space and Recreation (OSR)

Purpose: Areas designated on the Future Land Use Map with the OSR Future Land Use designation are established to direct the preservation of major open spaces and recreational facilities, and include golf courses, parks, and other similar recreational facilities.

The open space and recreation designation has been established to direct the preservation of major open spaces and recreation areas, including golf courses, parks, recreation areas, and similar facilities. Lands designated for open space and recreation shall be consistent with the Recreation and Open Space Element and shall reflect actions taken to implement the goals, objectives and policies of the Recreation and Open Space Element. The Town shall use the capital improvement program and budget process to pursue acquisition of land required to provide recreation, conservation, and related public benefits and promote multiple use of public lands. The maximum intensity of park and recreation uses measured in average weekday vehicle trips per 24 hour period is 27 trips per acre.

Maximum Density Permitted: There is no residential density permitted in the OSR Future Land Use designation.

Maximum Intensity Permitted: The maximum building intensity permitted for the OSR Future Land Use designation is 0.35 Floor Area Ratio (FAR).

OBJECTIVE 1.1.2: ENCOURAGE REDEVELOPMENT AND RENEWAL. Although the Town currently has no blighted or declining areas, the Town's LDC shall include Code Enforcement procedures ensuring that if areas develop blight or decline, the Town shall coordinate public and private resources necessary to initiate needed improvements and/or redevelopment within the impacted area. Maintain the character of the Town while ensuring the compatibility of land uses and mitigating the adverse impacts of development on living and non-living natural resources.

Policy 1-4.1.5 1.1.2.1: Performance Standards. The Town of Indian River Shores Land Development Regulations (LDR) are responsible for providing regulations which are equivalent or more stringent than the land use regulations established in the Town Comprehensive Plan. Specifically, these responsibilities include, but are not limited to:

Existing regulations governing zoning, signage, landscaping, beach and dune preservation, tree protection, flood plain management, surface water management, water and wastewater systems, and other land and water management regulations shall be revised and/or updated as needed in order to:

- a. Pursuant to LDC Sec. 167.01, implement policies which restrict development in wetlands and environmentally sensitive upland areas;
- b. Pursuant to LDC Sec. 163.02, establish buffering and minimum open space requirements;
- c. Provide criteria for the protection of potable water wellfields;
- d. Provide criteria for drainage and stormwater management;
- e. Incorporate criteria for requiring off-street parking and managing internal traffic circulation as well as access to and egress from the street system regulating transportation facilities infrastructure;

- f. Mandate availability of requisite services and infrastructure;
- g. Stipulate criteria for screening and buffering of land uses and facilities which may otherwise adversely impact development of adjacent land use;
- h. Establish standards for erosion control;
- i. Stipulate criteria for beach and dune protection and preservation;
- j. Address historically significant properties meriting protection;
- k. Stipulate criteria for locating any locally unpopular land use;
- l. Require environmental impact assessment of development during site plan review; ~~and stipulate appropriate performance criteria in the land development regulations.~~
- m. Stipulate appropriate performance criteria in the LDRs;
- n. Pursuant to LDC Chp. 166, regulate the subdivision of land;
- o. Pursuant to LDC Chp. 164, regulate signage; and
- p. Pursuant to LDC Sec. 169.07, provide permitting for development orders which minimize adverse impacts to the maintained level of service for public facilities and amenities.

Policy ~~1-1.2.4~~ 1.1.2.2: Code Enforcement Activities. ~~Code enforcement activities shall be continued as an integral part of the Town's regulation programs. The Code Enforcement program shall preserve and protect structurally sound land improvements and land uses consistent with the Comprehensive Plan. Preserve and protect structurally sound land improvements and land uses through equitable code enforcement activities.~~

Policy ~~1-1.2.2~~ 1.1.2.3: Public and Private Sector Partnerships. ~~If redevelopment issues materialize, the Town shall coordinate with the private sector in promoting mobilization of public and private resources necessary to effectively carry out redevelopment efforts. Encourage redevelopment and renewal to prevent additional consumption of protected natural resources and the blight or decline of developed areas.~~

Policy ~~1-1.3.4~~ 1.1.2.4: Managing Future Land Use. ~~The Future Land Use Map and related policies together with the LDC shall be applied as a planning and management device in order to prevent development of land uses which do not conform to the Town's character as reflected in the Town's adopted Future Land Use Map, Zoning Map, and other applicable laws, ordinances, and administrative rules. Exclude land uses which are inconsistent with the Town's character as a conservation, recreational, and residential based community.~~

Policy ~~1-1.3.4~~ 1.1.2.5: Managing Future Land Use. ~~The Future Land Use Map and related policies together with the LDC shall be applied as a planning and management device in order to prevent development of land uses which do not conform to the Town's character as reflected in the Town's adopted Future Land Use Map, Zoning Map, and other applicable laws, ordinances, and administrative rules. Utilize the Town LDRs to protect estuary, mangrove, coastal marsh, native vegetative communities, and aquatic vegetative communities from the adverse impacts of development.~~

Policy ~~1-1.3.2: Managing Improvements to Existing Non-Complying Structures.~~ ~~The LDC provides standards regulating improvements to existing non-complying structures and such standards shall require compliance and/or mitigation to the greatest reasonable and practical extent.~~

Policy 1.1.2.6: Prioritize safeguarding the beach and dune system, natural drainage, and natural groundwater recharge areas in the Town LDRs.

Policy 1.1.2.7: Surface water management systems are required to retain stormwater or detain with filtration, consistent with the permitting requirements of the St. Johns River Water Management District.

Policy 1-4.5.5-1.1.2.8: Manage Stormwater Run-off. Require a surface water management system plan for all developments on properties for and including any lakes or ponds. Specifically, the plan will:

The developer/owner of any site shall be responsible for managing on-site run-off and shall be required to comply with the following standards recommended by the Treasure Coast Regional Planning Council:

a. Surface water management systems shall be designed and constructed to retain or detain with filtration, in accordance with permit requirements from St. John's River Water Management District;

b. A vegetated and functional littoral zone shall be established as part of the surface water management system of lakes or ponds occurring on all property. Prior to construction of the surface water management system for any phase of a project, the developer shall prepare a design and management plan for the wetland/littoral zone that shall be developed as part of the surface water management system. The Plan should:

1. Include typical cross sections of the surface water management system showing the average water elevation and the minus three (-3) foot contour (i.e., below average elevation);

2. Specify how vegetation is to be established within this zone, including the extent, method, type and timing of any planting to be provided; and

3. Provide a description of any management procedures to be followed in order to ensure the continued viability and health of the littoral zone; and

4. The littoral zone as established should consist entirely of native vegetation and should be maintained permanently as part of the water management system. As a minimum, ten (10) square feet of vegetated littoral zone per lineal foot of shoreline should be established as part of the surface water management system. Ensure that the littoral zone is established with entirely native vegetation and is maintained permanently at a minimum of ten (10) square feet of vegetated shoreline.

OBJECTIVE 1-4.4 1.1.3: PROTECTION OF ARCHAEOLOGICAL AND HISTORIC RESOURCES. ~~The Town's adopted LDC includes performance criteria to ensure that land development activities protect archaeological and/or historic resources.~~ Protect historically significant archaeological and cultural resources.

Policy 1-4.4.4 1.1.3.1: Programming for Archaeological, Cultural and Historic Sites. ~~The Town shall coordinate with the State in developing programs for implementing Town and State policies for identifying, preserving, and enhancing sites of historical, cultural and archaeological significance. Programs for identifying, evaluating relative significance, protecting, preserving, determining appropriate access management and enhancement, including development of passive recreation, education or cultural activities shall be promoted utilizing available public and private resources at the local, State, and Federal level.~~ Coordinate with external agencies to identify and preserve sites of archaeological and/or cultural historic significance.

Policy 1-4.4.2 1.1.3.2: Preventing Adverse Impacts of Development on Historic or Archaeological Sites. ~~Development activities shall include precautions necessary to prevent the following adverse impacts to historic or archaeological sites of significance:~~

a. ~~Destruction or alteration of all or part of such site;~~

- b. Isolation from or significant alteration to its surrounding environment;
- c. Introduction of visible, audible, or atmospheric elements that are out of character with the property or significantly alter its setting; and
- d. Transfer or sale of a site of significance without adequate conditions or restrictions regarding preservation, maintenance, or use.

Prevent the destruction or alteration of historically significant archaeological and cultural resources, except in such instances where the alteration is absolutely necessary to preserve or restore such resources.

Policy 1.1.3.3: Prevent the introduction of elements which are out of character or antithetical with historically significant archaeological or cultural resources.

Policy 1.1.3.4: Prevent the transfer or sale of historically significant archaeological or cultural resources without adequate contractual conditions or restrictions regarding preservation, maintenance, or use.

~~**OBJECTIVE 1-1.3.1.1.4: PREVENT LAND USE INCONSISTENT WITH TOWN'S CHARACTER.** The Town's LDC shall ensure that Future land uses shall be consistent with the Town's character, the Future Land Use Map, and other applicable laws, ordinances, and administrative rules impacting land and water resources. Similarly, if improvements are proposed to an existing land use which does not conform with comprehensive plan land use and density provisions then in no case shall any existing non-conforming land use or density be increased. Establish a well-defined and recognizable Town character which aesthetically enhances the natural beauty of the Indian River Shores barrier island.~~

~~**Policy 1-1.10.8 1.1.4.1: Economic Development, Urban Design and Community Appearance.** The Town shall preserve the Town's natural features which are a significant resource in attracting seasonal and permanent residents who desire a scenic coastal setting with only limited commercial activity. Good principles of urban design shall be applied through site plan review procedures in order to enhance general community appearance as well as to preserve and enhance open space and landscape. This program shall protect major natural and manmade resources within the Town, including such scenic natural resources as the Indian River Lagoon, the beach and dune system of the Atlantic Ocean, as well as residential neighborhoods or centers of commercial or institutional activity. Preserve the natural features of the Indian River Shores barrier island by attracting permanent residents and striving to align developments and land uses with environmentally sensitive habitats to avoid potential adverse impacts.~~

~~**Policy 1-1.10.9 1.1.4.2: Special Land Use Studies.** In order to maintain land use policies responsive to changing conditions, problems, and issues, the Town shall Undertake special studies as needed to develop specific local strategies for resolving unanticipated land use problems and issues.~~

Policy 1.1.4.3: Ensure that any proposed development maintains concurrency with public utility infrastructure and other public facilities with adopted level of service standards to the satisfaction of the Town.

~~**OBJECTIVE 1-1.5: PROTECTION OF NATURAL RESOURCES.** The Town's LDC include performance criteria to ensure that development and conservation activities protect natural resources as directed by the below stated policies.~~

Policy 1-1.5.1: Apply Future Land Use Policies for Managing Environmentally Sensitive Lands. Policies for managing environmentally sensitive estuarine and upland areas (reference following section entitled: "Future Land Use Map") shall be applied in protecting natural systems.

Policy 1-1.5.2: Utilize Land Development Code for Environmentally Sensitive Estuarine and Upland Areas. The LDC has incorporated performance standards which preserve and protect the Indian River estuary, mangroves, seagrass beds, coastal marsh, the beach and dune system, natural drainage and recharge areas, and native vegetation from potentially adverse impacts of development.

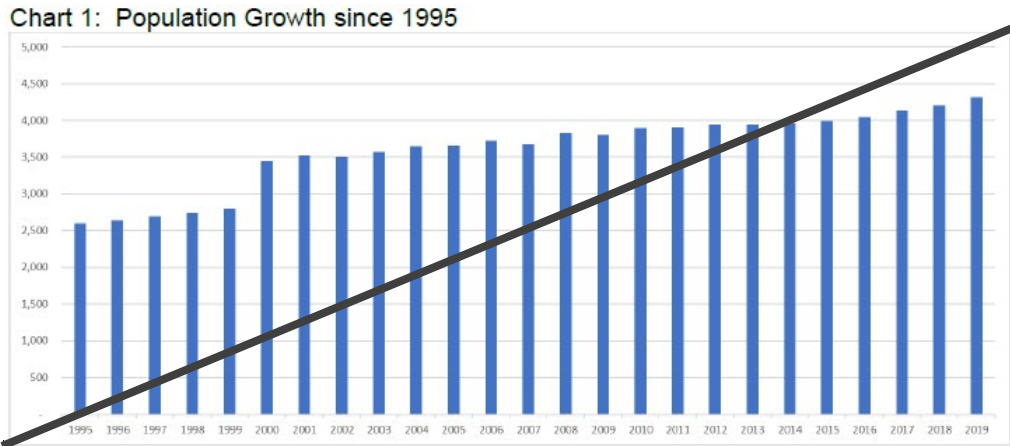
Policy 1-1.5.3: Coordinate Intergovernmental and Natural Resource Management. The Town shall coordinate with the State, the St. John's River Water Management District, the Treasure Coast Regional Planning Council, the Marine Resources Council, and other agencies concerned with managing the Indian River estuary as well as environmentally sensitive coastal uplands. Such intergovernmental coordinating activities shall be directed toward protecting the values and functions of the coastal marsh and submerged lands.

Policy 1-1.5.4: Protect Flora and Fauna Having Special Status. Species of flora and fauna having special status as identified in the Conservation Element shall be protected through inclusion of their habitats in the "environmentally sensitive" land use category on the Future Land Use Map, excepting those species which currently coexist in developed areas.

Policy 1-1.5.6: Conserve the Potable Water Supply. The potable water supply shall be conserved by enforcing potable water standards outlined in Chapter 168 of the Town's Code of Ordinances. NOTE: There are not any public water wells and cones of influence located or planned within the Town. The potable water supply is derived from public water systems outside the Town's corporate limits.

OBJECTIVE 1-1.6: PREVENT LAND USE INCONSISTENT WITH TOWN'S CHARACTER AND COORDINATE COASTAL AREA POPULATION DENSITIES WITH HURRICANE EVACUATION PLANS. The Town of Indian River Shores shall review and amend their LDC as necessary, to ensure that future land uses shall be compatible with the Future Land Use Map, and other applicable laws, ordinances, and administrative rules regulating land and water resource management. Similarly, if improvements are proposed to an existing structure which do not conform or comply with codes governing use, setbacks, size, dimensions, height, density, or other location criteria, then any existing non-complying structures shall be eliminated or reduced to the greatest reasonable and practical extent. The LDC shall include procedures which require that proposals for new development be reviewed to ensure that traffic impacts do not adversely impact hurricane evacuation clearance times established by Indian River County. Such procedures shall require that future applications for development be reviewed pursuant to criteria in the Indian River County Hurricane Evacuation Plan and applicable regional or State hurricane evacuation plans to ensure that any potential adverse impacts are remedied prior to site plan approval.

Policy 1-1.6.1: Continuing Review of Population Densities. The Town shall coordinate with Indian River County in order to ensure continued compliance with the County disaster evacuation plan (referenced above). In addition, the Town shall coordinate with Indian River County in order to remain responsive to evolving barrier island traffic issues which may impact population densities. Since 1995, the population of Indian River Shores has grown from 2,278 to 4,314 almost 90% growth. The five year projected population in 2025 is 4,653, while in 2035 it is projected to grow to 5,332. The projections are estimated utilizing the University of Florida's Bureau of Economic and Business Research (BEBR) and historical data. However, as the Town is approaching build out of available residential, it is unlikely it shall reach the numbers projected for 2035 as 5,332.



OBJECTIVE 1.1.5.7: COORDINATE TIMING AND STAGING OF PUBLIC AND PRIVATE DEVELOPMENT. The location, scale, timing, and design of development shall be coordinated with public facilities and services in order to promote cost effective land development patterns and direct future development only to those areas where provision of public facilities necessary to meet level of service standards are available concurrent with the impacts of the development.

Policy 1-1.7.1: Development Orders and Permitting Process. Development orders and permits for all future development shall be timed and staged to ensure that requisite infrastructure and services are available to respective developments concurrent with the impacts of the development.

Policy 1-1.7.2: Design of Public Facilities and Utilities. Public facilities and utilities shall be located and designed to:

- 1) maximize the efficiency of services provided;
- 2) minimize related costs; and
- 3) minimize adverse impacts on natural systems.

Policy 1.1.5.17.3: Developments Not Served by Public Water and/or Wastewater Systems. Pursuant to Ord. 570, all developments in areas not serviced by public water and/or wastewater systems shall be governed by applicable State laws and administrative regulations until July 1, 2030 when all sanitary sewer services shall be consolidated into the central sewer system.

Policy 1-1.7.4: Accommodating Requisite Infrastructure. During the subdivision review, site plan review, and permitting processes the Town shall ensure that respective future developments allocate sufficient land area for infrastructure required to support proposed development.

OBJECTIVE 1-1.8: CONSIDER INNOVATIVE LAND AND WATER RESOURCE MANAGEMENT AND ENERGY CONSERVATION CONCEPTS. The Town has adopted the LDC and shall amend, as necessary, to incorporate concepts for managing land and water resources which are responsive to development and conservation issues identified in the Town's' Comprehensive Plan.

Policy 1-1.8.1: Incorporate Best Management Techniques in the Land Development Code. The Town's LDC shall incorporate best management practices for land and water resources which have been demonstrated to be successful and cost effective in resolving development and conservation issues.

Policy 1-1.8.2: Energy Efficiency in Plans. Encourage land use, traffic circulation systems, and urban design which minimizes energy consumption and maximizes effectiveness of energy consumed. Reduce travel demands by locating major traffic generators on accessible sites situated along major traffic corridors near potential users. Promote a systematic approach to the development of pedestrian and bicycle path networks by the public and private sectors in order to improve energy efficient transportation links between major activity areas such as residential neighborhoods, employment centers, shopping areas, parks, and schools.

Policy 1-1.8.3: Energy Efficient Design. Promote site planning and design which reduces demand for artificial heating, cooling, ventilation and lighting. Design factors include building design, siting and orientation that effectively utilizes natural solar resources, wind conditions, tree canopy, and plant material to reduce the effects of exposure to extreme weather conditions. Energy efficient construction shall be promoted through enforcement of the building and energy codes, through application of new and proven energy efficient technology and through cooperative efforts with building trades, design professionals, Building Officials, and County, Regional and State agencies concerned with energy conservation.

Policy 1-1.8.4 Energy Conservation in Building and Construction. The Town shall enforce energy efficient building codes in the Florida Building Code and promote efficient energy conservation in building heating and cooling systems. The Town should promote training workshops in energy efficiency in construction and continue to foster cooperative relationships between building trades, architects, engineers and building officials.

OBJECTIVE 1-1.9: INTERGOVERNMENTAL COORDINATION. The Town shall continue to review, and as appropriate, amend their LDC to incorporate administrative procedures to ensure efficient coordination of land and water management issues surrounding proposed development are carried out in a timely manner with all public entities having jurisdictional authority.

Policy 1-1.9.1: Implementing Intergovernmental Coordination. The Town shall require that development applications be coordinated, as appropriate, with the City of Vero Beach, Indian River County, special districts, the Treasure Coast Regional Planning Council, the St. John's River Water Management District, and State and Federal agencies prior to issuance of a development order.

OBJECTIVE 1-1.10: CONTINUING LAND USE PROGRAMS. The City shall implement land use goals and objectives by carrying out a continuing program of land use activities below cited.

Policy 1-1.10.1: Land Use Information System. Maintain and periodically update the land use information system.

Policy 1-1.10.2: Land Use Trends. Monitor and evaluate population and land use trends as necessary.

Policy 1-1.10.3: Fiscal Management and Grantsmanship. Implement fiscal management policies of the capital improvement program and budget. Pursue applicable Federal and State grants.

Policy 1-1.10.4: Administer Land Use Controls. Administer land use controls, including zoning and subdivision regulations, building codes, electrical code, flood prevention regulations, housing code, water and sewer codes, traffic regulations, beach and dune protection regulations, fire code, regulations governing streets and sidewalks, and annexation code.

Policy 1-1.10.5: Public Assistance. Provide information and assistance to the public regarding land development codes.

Policy 1-1.10.6: Intergovernmental Coordination. Coordinate land development issues where applicable with other public agencies at all levels of government pursuant to the Intergovernmental Coordination Element of this Plan.

Policy 1-1.10.7: Manage Current Developmental Impacts. Evaluate and manage impacts of proposed development pursuant to existing ordinances, including, but not limited to, public facilities, natural environment, and impact on stable residential neighborhoods.

Policy 1-1.10.8: Economic Development, Urban Design and Community Appearance. The Town shall preserve the Town's natural features which are a significant resource in attracting seasonal and permanent residents who desire a scenic coastal setting with only limited commercial activity. Good principles of urban design shall be applied through site plan review procedures in order to enhance general community appearance as well as to preserve and enhance open space and landscape. This program shall protect major natural and manmade resources within the Town, including such scenic natural resources as the Indian River Lagoon, the beach and dune system of the Atlantic Ocean, as well as residential neighborhoods or centers of commercial or institutional activity.

Policy 1-1.10.9: Special Land Use Studies. In order to maintain land use policies responsive to changing conditions, problems, and issues, the Town shall undertake special studies as needed to develop specific local strategies for resolving unanticipated land use problems and issues.

Policy 1-1.10.10: Resolving Public Facility Concurrency Issues. The Town has adopted land development codes which include performance standards ensuring that no development order or permit for proposed development shall be issued unless the applicant provides a plan demonstrating to the satisfaction of the Town that public facilities required by the subject development shall be in place concurrent with the impacts of development. Furthermore, the applicant shall ensure that facilities operate at or above adopted level of service standards. The applicant's narrative and graphic information shall demonstrate that the subject development shall not reduce the levels of service (LOS) associated with public facilities serving the development below adopted LOS standards.

OBJECTIVE 1-1.11: CONTINUING EVALUATION OF LAND USE ELEMENT EFFECTIVENESS. The Town shall use the following policies as criteria in evaluating the effectiveness of the Land Use Element.

Policy 1-1.11.1: Review the Impact of Change Indicators on Land Use Policy. Major shifts in the magnitude, distribution, and characteristics of population and land use shall serve as indicators of possible changes in land use needs. The policy implications of major shifts in land use characteristics shall be evaluated as necessary. Land use policy shall be refined as needed periodically in order to remain responsive to evolving problems and issues.

Policy 1-1.11.2: Schedule, Budget and Implement Programmed Activities. The timely scheduling, programming, budgeting and implementation of programmed land use activities identified in this Element shall be evidence of the Town's effectiveness in carrying out a systematic program for implementing adopted land use goals, objectives and policies.

Policy 1-1.11.3: Coordinate with Public and Private Sectors. While continually implementing and evaluating the Land Use Element, the Town shall maintain a process of intergovernmental coordination as well as coordination with private sector groups interested in land use policy and programs. The effectiveness of this approach shall be evaluated by the success of coordination mechanisms in resolving land use problems and issues.

Policy 1-1.11.4: Achieve Effective Resolution of Land Use Goals, Objectives, and Policies. The effectiveness of the Land Use Element shall be measured by the Town's success in achieving land use goals, objectives, and policies. The Land Use Element incorporates a systematic planning process for identifying land use problems and issues and implementing corrective actions.

GOAL 1-2 FUTURE LAND USE MAP. CONTINUE TO MAINTAIN AND MANAGE A FUTURE LAND USE MAP.

THE FUTURE LAND USE MAP SERIES (2035)

The Future Land Use Map 1-1 shall designate areas for the following uses: residential conservation/environmentally sensitive island; residential, conservation/environmentally sensitive; coastal high hazard/environmentally sensitive; low density residential; limited commercial; institutional services; open space and recreation; and agricultural. This section of the future land use element shall define the nature, density and intensity of the allowable uses for each of the designations represented on the future land use map. Nothing in this section shall preclude necessary community facilities from locating within any future land use designation when such activity satisfies established criteria of this plan and the Town's LDC.

The following maps are included in this Chapter:

Map 1-1 Future Land Use Map

Map 1-2 Wetlands and Conservation Land

Map 1-3 Flood Zone Map

Map 1-4 Major Streets Map

Map 1-5 Historic and Archeologic Sites Map

OBJECTIVE 1-2.6: PREVENT LAND USE INCONSISTENT WITH THE TOWN'S CHARACTER, NATURAL RESOURCES, AND LAND USE DESIGNATIONS. Future land uses shall be consistent with the Future Land Use Map, and other applicable laws, ordinances, and administrative rules regulating land and water resource management. Similarly, if improvements are proposed to an existing land use which do not conform with regulations governing use or density, then in no case shall any existing non-conforming land use or density be increased. The LDC includes provisions designed to implement this policy and shall be amended as necessary.

Policy 1-2.6.1: Managing Future Land Use. The Future Land Use Map and related policies together with the Town's LDC shall be applied as a planning and management tool in order to prevent development of land uses which do not conform to the Town's character as reflected in the Town's adopted Future Land Use Map, Zoning Map, and other applicable laws, ordinances, and administrative rules.

Policy 1-2.6.2: Managing Improvements to Existing Non-Complying Structures and Non-Conforming Uses. The Town's LDC shall regulate improvements to existing noncomplying structures as well as changes to non-conforming uses. Such standards shall require that plans for alterations to non-complying uses incorporate improvements to bring the subject structure into compliance to the greatest reasonable and practical extent. No non-conforming use may be enlarged without reducing the extent of the nonconformity.

TRANSPORTATION ELEMENT

Purpose

The purpose of the Transportation Element is to address mobility issues in relationship to the size and character of the Town, with an emphasis on public and multi-modal transportation mediums which are safe, convenient, and coordinated. As an element of the Town Comprehensive Plan, required by Section 163.3177(6)(b), Florida Statutes, the Transportation Element endeavors to ensure transportation concurrency and efficiency, while also preserving the character and wellbeing of the Town. Due to the Town's low-density residential character, multi-modal transportation options are limited and primarily rely on the private automobile. There is limited ingress and egress on the barrier island, and thus evacuation in the event of a disaster, and the adverse effects of transportation modes on the environment, are of primary concern as well.

~~**2-1: TRAFFIC CIRCULATION GOALS, OBJECTIVES, AND POLICIES.** This section stipulates goals, objectives and policies for the Transportation Element pursuant to Sec. 163.3177(6)(b), F.S.~~

~~**GOAL 2.1.1: TRAFFIC CIRCULATION.** To Establish and maintain a traffic circulation system which allows for safe and convenient circulation of motorized and non-motorized transportation with minimal impact on the natural environment.~~

~~**OBJECTIVE 2.1.1: SAFE, CONVENIENT, AND EFFICIENT TRANSPORTATION SYSTEM.** To control the location and number of driveways and other access points so as to Preserve the ability and capacity of existing public roads and future major roadways within the Town to safely, conveniently, and efficiently move traffic.~~

Policy 2-1.1.1 Level of Service Standards.

The minimum acceptable peak hour level of service standards are as follows:

Arterial (A1A) _____ LOS of D

Collectors and Local Streets LOS of C

~~**Policy 2.1.1.1: Level Of Service Standards.** The Pursuant to Ord. 412, maintain the minimum acceptable level of service (LOS) standard for all roads within the Town is at Level of Service LOS C, consistent with Florida Department of Transportation (FDOT) Quality/Level of Service Handbook; Level of Service LOS D is permissible the minimum acceptable LOS standard during in the tourism peak season.~~

~~**Policy 2.1.1.2. Access Points To Existing Public Roads.** Those land development regulations which Control the location of access points to existing public roads adjacent to the Town, and new roads within the Town, will be maintained prevent conflict points between motorists, pedestrians, and cyclists.~~

~~**Policy 2-1.1.3. Disaster Preparedness Needs.** Transportation projects shall recognize and provide for disaster preparedness needs.~~

~~**Policy 2-1.1.4. Controlled Access.** Control of access points is established in the LDC to provide for (1) minimum distances between access points, (2) if left turn storage lanes or right turn deceleration lanes are determined to be needed by FDOT on A1A, the developer shall include FDOT approved plans for the lanes and shall complete the lanes at the developer's expense, and (3) stop signs and stop bar at access points.~~

Policy 2.1.1.3: Coordinated With Future Land Use. The traffic circulation plan will continue to be coordinated with future land uses shown on the Future Land Use Map so that acceptable levels of service use maintained through the system, level of service standards prescribed in the FDOT "Level of Service Standards and Guidelines Manual" or other FDOT documents will be used for determination of A1A and other state roads. Where county impact fees are involved, the level of service standards in the Indian River County Ordinance and Impact Fee Study will be utilized since this formed the basis of impact fee imposition.

Similar traffic impact study will be required for any collector road where traffic volume rights-of-way, drainage or other safety considerations are involved, subject to approval of the Town Manager or his/her designee.

Pursuant to Ord. 412, require new developments and major redevelopments to undertake a transportation impact study assessing the roadway capacity and trip generations of the proposed development consistent with the FDOT Quality/Level of Service Handbook.

Policy 2.1.1.4: Planning For Bicycle And Pedestrian Ways. All developments in the Town will be required to provide facilities for bicycle and pedestrian ways to ensure their safe circulation throughout the Town, where appropriate. Require new developments and redevelopments to provide bicycle facilities and pedestrian pathways.

Policy 2-4.7.2 2.1.1.5: Minimizing of Roadway Designs. The Town shall eliminate or minimize roadway designs which lead to hazardous conditions by:

- a) requiring the provision of adequate sight distance, as well as adequate storage and vehicle recovery areas;
- b) prohibiting direct access from driveways and local roads onto high speed traffic lanes;
- c) preventing conflicts between roadway and pedestrian or rail traffic; and
- d) providing adequate capacity for emergency evacuation.

Eliminate or minimize roadway designs conducive to hazardous conditions by:

- a. Providing for high visibility of vehicles and roadway conditions;
- b. Ensuring adequate storage and vehicle recovery areas;
- c. Prohibiting direct access from driveways onto high speed traffic lanes;
- d. Discouraging high-speed turn lanes;
- e. Discouraging unbuffered cycling lanes and pedestrian paths adjacent to roadways in instances where right-of-way access exists to accommodate;
- f. Minimizing conflict points between motorists and non-motorized transportation; and
- g. Providing adequate capacity for emergency evacuation.

OBJECTIVE 2-1.2. FUTURE ROADWAY IMPROVEMENTS. The Town of Indian River Shores shall consider new development to provide new facilities, or pay a fair share amount for new facilities or improvements in order to ensure the continued efficient operation of all roadways within and adjacent to the Town.

Policy 2-1.2.1. Proposed New Developments. An overall plan for internal circulation within the Town will be maintained. That plan will apply in the review of all proposed developments, requiring those new developments to provide necessary road facilities in compliance with the plan. In furtherance thereof, developers seeking site plan approval will be required to submit a traffic impact study setting forth the capacity of any affected state road as defined in FDOT's QUALITY/LEVEL OF SERVICE HANDBOOK together with present and project traffic volumes for approved developments, for the approval of the Town Manager or his/her designee prior to Planning Zoning and Variance Board hearing.

Similar traffic impact study will be required for any collector road where traffic volume rights-of-way, drainage or other safety considerations are involved, subject to approval of the Town Manager or his/her designee.

Policy 2-1.2.2. Planning For Bicycle And Pedestrian Ways. All developments in the Town will be required to provide facilities for bicycle and pedestrian ways to ensure their safe circulation throughout the Town, where appropriate.

OBJECTIVE 2-1.3. RIGHTS OF WAY NEEDS. By 2030, the rights-of-way needs shall be formally identified and a priority schedule for acquisition or reservation shall be established.

Policy 2-1.3.1. Integrated Traffic Circulation And Land Use Planning. The Town shall adopt an official Trafficways Map identifying future rights-of-way based upon the Traffic Transportation Element and Future Land Use Element of this plan.

Policy 2-1.3.2. Minimum Rights-Of-Way Requirements. The Town shall adopt minimum rights-of-way requirements for new public roadways containing the following provisions:

- 1) arterial roadways — 135' rights-of-way;
- 2) collector roadways — 60' to 80' rights-of-way as needed; and
- 3) local roads — 60' rights-of-way (swale drainage); and 50' rights-of-way (curb and gutter).

Policy 2-1.3.3. Fees "In Lieu Of". The Town shall implement a program for mandatory dedications or fees "in lieu of" as a conditional of plat approval for acquiring necessary rights-of-way.

OBJECTIVE 2-1.4 2.1.2: PROTECT THE ENVIRONMENT IN CONSTRUCTION OF ROADS. To protect the environment in the construction of new and expanded roads. Minimize and mitigate the adverse impacts of transportation infrastructure on the environment.

Policy 2-1.4.4 2.1.2.1: Avoidance of Marshes, Mangroves And Swamps In New Road Construction. Marshes, mangroves and swamps will be avoided where possible in the construction of new roads. Avoid where possible the construction of new roads, as defined in Section 334.03(30), Florida Statutes, where adverse impacts to estuaries, marshes, mangroves, or any other environmentally sensitive and significant habitats may occur.

Policy 2-1.4.4 2.1.2.2: Avoidance of Environmentally Sensitive Areas. Where avoidance of environmentally sensitive areas is feasible, roadway design and construction shall be directed toward minimizing any negative impacts on vegetation, and retaining natural water flow patterns. Encourage

mitigation measures where construction of vital transportation facilities adversely impacts estuaries, marshes, mangroves, or where any other environmentally sensitive and significant habitat is absolutely unavoidable and necessary.

~~Policy 2-1.4.3 2.1.2.3: Routing of New Roads.~~ New roads shall be routed so as to Route any new transportation infrastructure to influence growth away from environmentally sensitive areas.

~~Policy 2-1.4.4. 2.1.2.4: Erosion Prevention.~~ All slopes and road cuts shall be stabilized by Stabilize slopes, road cuts, embankments, and other unpaved graded portions of transportation infrastructure with vegetation or other nature-based engineering solutions means during construction of any road to prevent minimize erosion.

~~Policy 2-1.4.5. 2.1.2.5: Drainage Standards.~~ At present, the Town's LDC provides for geometric and drainage standards for construction of roads in residential and commercial developments. These ordinances will be amended as needed to address any unforeseen environmental issues outlined above. The Planning, Zoning and Variance Board will be required to address each of these issues in considering site plan approvals. Per the LDC, require geometric and drainage standards for all new and existing transportation facilities to minimize runoff and prohibit direct outflows into sensitive wetlands.

~~OBJECTIVE 2-1.5 2.1.3: TRANSPORTATION PLAN CONSISTENCY.~~ To adopt a Transportation Plan which is consistent with County, Regional and State Transportation Plans. **Ensure transportation concurrency among the Town, Indian River County (the County), and FDOT.**

~~Policy 2-1.5.1-2.1.3.1: Indian River County Long Range Transportation Plan.~~ The objectives and policies of the Indian River Shores Transportation Element shall be consistent with the objectives and policies of the Indian River Long Range Transportation Plan. Coordinate with the Indian River County Metropolitan Planning Organization (MPO) on any transportation projects which may be planned for in the 2045 Long Range Transportation Plan (LRTP) and Transportation Improvements Plan.

~~Policy 2-1.5.2 2.1.3.2: FDOT Five-Year Work Program.~~ The FDOT five-year work program will be adopted by reference as the short range element of the Indian River Shores Transportation Plan. Work cooperatively with the County and FDOT to achieve the Indian River County MPO/FDOT safety performance goals as adopted in the Indian River County MPO's 2045 LRTP.

~~Policy 2-1.2.3. 2.1.3.3: Coordination With Indian River County For Fair Share Cost.~~ The Town will continue to Coordinate with Indian River County so that to ensure that new developments pay a fair share of the cost to offset impacts on county roads.

OBJECTIVE 2.1.4: Incentivize and facilitate the development of non-motorized transportation infrastructure to minimize the transportation network's reliance on motorized transportation as much as possible.

Policy 2.1.4.1: Ensure that residential, non-residential development, and recreation and open space areas are connected by designated bicycle and pedestrian pathways and designed in such a way so that conflict points with motorized transportation is minimized.

Policy 2-1.6.4 2.1.4.2: On Street Parking. The Town shall prohibit on-street parking on arterial and collector roads except where designated parking places are provided and minimize parking for motorized transportation along the frontage of developments to create more space for non-motorized transportation.

Policy 2-1.6.3 2.1.4.3: Bicycle and Pedestrian Traffic Needs. The Town shall review all proposed development for its accommodation of bicycle and pedestrian traffic needs. Review all proposed major developments for the accommodation of safe and reliable bicycle storage facilities.

OBJECTIVE 2-1.6. PROVISION OF VEHICLE PARKING. The provision of motorized and nonmotorized vehicle parking, and the provision of bicycle and pedestrian ways will be regulated.

Policy 2-1.6.2. Bicycle and Pedestrian Traffic Ways. The Town shall provide or require bicycle and pedestrian ways for connecting residential areas to the beaches and other recreational areas.

Policy 2-1.6.4. Implementing Parking Restrictions and Bicycle/ Pedestrian Path. The Town has partially implemented this objective and is in the process of taking further steps in this direction. Parking restrictions have been enacted over the length of A1A and these are actively enforced by the Town's Public Safety Department. A bicycle/pedestrian path has been constructed along A1A; traversing the Town and connecting beach access areas.

OBJECTIVE 2-1.7 TRANSPORTATION SYSTEM SAFETY. The Town's transportation system will emphasize safety and aesthetics.

Policy 2-1.7.1. Design Criteria for Landscaping. The Town shall adopt design criteria for landscaping and signs along roadways and will implement a program to landscape and maintain existing median strips and rights-of-way.

Policy 2-1.7.2. Minimizing of Roadway Designs. The Town shall eliminate or minimize roadway designs which lead to hazardous conditions by:

- a) requiring the provision of adequate sight distance, as well as adequate storage and vehicle recovery areas;
- b) prohibiting direct access from driveways and local roads onto high speed traffic lanes;
- c) preventing conflicts between roadway and pedestrian or rail traffic; and
- d) providing adequate capacity for emergency evacuation.

Policy 2-1.7.3. Accident Frequency Reports. The Public Safety Department shall prepare annual accident frequency reports for all collector and arterial roads.

HOUSING ELEMENT

Purpose

The purpose of the Housing Element is to ensure the provision of adequate and affordable housing for all current and projected residents of the Town. As an element of the Town Comprehensive Plan required by Section 163.3177(6)(f)1., Florida Statutes, the Housing Element endeavors to support the Future Land Use Element in facilitating the development, redevelopment, maintenance, and affordability of the Town’s housing stock. This is a vital role in ensuring the Town’s long-term economic viability, sustainability, and resilience.

3-1 HOUSING GOALS, OBJECTIVES, AND IMPLEMENTING POLICIES. This section stipulates and implements goals, objectives, and policies for the Housing Element pursuant to 163.3177(6)(f), F.S.

GOAL 3.1: HOUSING. Monitor and allocate land area for accommodating a supply of housing responsive to the diverse housing needs of the existing and projected future town population and assist the private sector in providing affordable quality housing in neighborhoods protected from incompatible uses and served by adequate public facilities.

OBJECTIVE 3-1.1: PROMOTE AFFORDABLE QUALITY HOUSING. Support the private sector in providing the projected need for 1,600 new dwelling units to meet the estimated housing needs of the greater Vero Beach/Sebastian Metropolitan Statistical Area. The assistance shall be as provided for in the following policies.

Affordable/Available Rental Units, 2017 Estimates				
Geography	Surplus/Deficit of Affordable/Available Units, 0-30% AMI	Affordable/Available Units per 100 Renter Households, 0-30% AMI	Surplus/Deficit of Affordable/Available Units, 0-60% AMI	Affordable/Available Units per 100 Renter Households, 0-60% AMI
Sebastian-Vero Beach, FL MSA	-1626	10	-1651	74
Sebastian-Vero Beach, FL MSA	-1626	10	-1651	74

Notes: Affordable units are those for which a household at the given income limit (% AMI) would pay no more than 30% of income for gross rent. Note that this is a change from previous versions, which used a 40% of income threshold. Affordable/available units are affordable at that income level and either vacant or occupied by a household below the income threshold. Surplus/Deficit of Affordable/Available Units for a particular income range shows the number of affordable/available units in the range minus the number of renter households in that range. For additional explanation of affordable/available methods, see the 2016 Rental Market Study, pp. 27-56
 Sources: Shimberg Center for Housing Studies analysis of 2017 American Community Survey PUMS

OBJECTIVE 3.1.1: Support necessary development and redevelopment to provide equitable housing to meet the needs of the Town’s population projections for the 10- and 20-year planning periods.

Policy 3.1.1.1: Technical Assistance, Information and Referral Services. Provide technical assistance, information, and referral services to the private sector in order to maintain a housing production capacity sufficient to meet the projected housing market demand and continue to advance fair housing and elimination of discrimination in housing.

Policy 3.1.1.2: Developing Public / Private Partnerships. Develop local government partnerships with adjacent local governments and external agencies the private sector in order to improve efficiency and expand the capacity of the housing delivery system. Actions shall include coordinating with the City of Vero Beach and any other entity providing water and wastewater services in order to promote the timely extension of such services to residential areas within the Town. Similarly, the Town shall also coordinate the installation of community facilities supportive to housing resources.

Policy 3-1.7.5 3.1.1.3: Continuing Housing Programs. The Town shall carry out the following housing related programs: Maintain the Town's investment and maintenance of productive existing housing programs; specifically:

- a. **Population and Housing Research and Information System.** Maintain and periodically update, at least every ten years to coincide with the release of the decennial census population and housing information.
- b. **Housing Trends.** Monitor and evaluate population and housing trends. ~~Analysis of land use interrelationships shall be included in the continuing evaluation.~~
- c. **Review Plans and Policies.** ~~As necessary, Review and amend adopted plans and policies based on continuing analysis of market shocks related to housing and other plan elements. Major shifts in the magnitude, distribution, and demographic characteristics of the population which are indicative of changes in housing demand shall be analyzed. Similarly, shifts in the magnitude, distribution and structural characteristics of the Town's housing stock shall be analyzed on a continuing basis.~~
- d. **Fiscal Management.** Review and evaluate residential development and infrastructure policy, including fiscal implications to ensure the solvency and fiscal responsibility of the Town over the 10- and 20-year planning periods. ~~The fiscal management policies including the capital improvement program and budget shall be reviewed, evaluated, and refined to reflect current program priorities, as necessary.~~
- e. **Public Assistance and Information Referral.** Provide housing information and referral services to the public pursuant to adopted goals, objectives, and policies of ~~this~~ the Housing Element.
- f. **Intergovernmental Coordination.** Coordinate local housing program activities including discussions of related fiscal problems and issues with other public agencies at all levels of government pursuant to the Intergovernmental Element of ~~this~~ the Town Comprehensive Plan.
- g. **Manage Current Development Impacts.** Evaluate and manage impacts of proposed development pursuant to existing ordinances including, ~~but not limited to,~~ impacts on residential neighborhoods, local housing supply and demand, public facility impacts, and natural environmental factors.
- h. **Continuing Refinement of Housing Policies.** ~~The Town shall Review Housing Element goals, objectives, and policies as identified in this Element, as necessary. This analysis shall to provide a basis for continuing refinement of housing policies. Where such an analysis reveals of housing needs, required unnecessary infrastructure improvements, or and other related problems and issues, the Town shall coordinate an effective response, including cooperation with the public and private sectors.~~
- i. **Special Housing Studies.** Undertake special housing studies when necessary to develop specific local strategies for resolving unanticipated housing issues.

Policy 3-1.1.3 3.1.1.4: Affordable Housing and Workforce Housing. ~~The Town shall Promote access to a broad range of housing opportunities with a full complement of urban services adequate amenities through cooperation and coordination with the private sector external agencies. The Town acknowledges the need for affordable low and moderate income housing; however, the economic and barrier island environmental constraints within the Town make such development options very difficult. For instance, the Town is located within a very narrow portion of the barrier island and is characterized by severely limited access to employment opportunities, service centers, major shopping areas, and medical facilities. These factors make the Town highly impractical as a site for low and moderate income housing opportunities. In addition, low and moderate income housing opportunities are further negated by extremely high land values and low density residential development policies. The Town has adopted its LDC that allows accessory service or guest facilities to be constructed in low density residential designated areas. The intent shall be to expand the available housing choices. The Town shall incorporate performance standards to ensure available infrastructure with adequate levels of service to~~

support the additional accessory units. In addition, the Town shall participate on an ad hoc basis with the Indian River County Housing Authority or other designated agent for Indian River County in developing, implementing and funding low and moderate income housing alternatives on mainland sites which have a full array of support services, including accessible shopping, transportation, social services and medical care.

Policy 3.1.1.5: Work cooperatively with adjacent local government and external agencies to increase the stock of affordable housing and workforce housing.

Policy 3.1.1.6: Provide for financial incentives for opportunities to meet the unique housing needs of vulnerable populations.

OBJECTIVE 3.1.2: MAINTAIN HOUSING STOCK FREE OF SUBSTANDARD UNITS. ~~The Town has no substandard housing units and shall strive to maintain a housing stock free of substandard units.~~ Facilitate the elimination of substandard and inadequate housing while maintaining the Town’s character and preserving historically and culturally significant housing.

Geography	1.01 or More Persons per Room	Share of Occupied Units (%)	No Fuel Used	Share of Occupied Units (%)	Lacking Complete Facilities	Share of Occupied Units (%)	Lacking Complete Facilities	Share of Occupied Units (%)
Indian River County	806	1.4	988	1.7	1008	1.3	843	1.1
Indian River Shores	-	-	-	-	-	-	-	-

Notes: The ACS is based on an annual sample of US households. The margin of error (+/-) is based on a 90% confidence level; that is, there is a 90% probability that the actual value falls within the range provided by subtracting and then adding the margin of error to the estimate. If margin of error is greater than the estimate, result is not statistically significantly different than zero.
Source: U.S. Census Bureau, 2013-2017 American Community Survey 5-Year Estimates

Policy 3.1.2.1: Code Enforcement Activities. ~~The Town shall continue to implement~~ Ensure the equitable implementation of code enforcement activities in order to maintain quality housing stock free of substandard units.

Policy 3.1.2.2: Ensure consistency with the Coastal Management Element in the implementation of sustainable and resilient housing practices.

Policy 3-4.7.4 3.1.2.3: Promote Maintenance of Housing Stock and Neighborhood Conservation. ~~The Town has adopted the LDC which supports enforcement of the Town's building, housing, plumbing, energy, electrical, and other construction codes in order to promote maintenance of standard housing and to achieve necessary corrective action where noncompliance's exist or come into existence in the future.~~ Extend the useful life of the existing housing stock through incentivizing the redevelopment, rehabilitation, renovation, and maintenance of depreciated structures.

Policy 3-4.5.4 3.1.2.4: Promote Identification of the Town's Historically Significant Housing Resources. ~~The Town shall encourage the continued identification, protection, analysis, and explanation of the Town's historical resources. Such efforts shall include determination of their worth and vulnerability, as well as implementation of preservation management policies as such resources are identified. This effort shall be coordinated with the local County Historical Society.~~ Continue the identification and protection of historic housing in partnership with the Indian River County Historical Society.

~~Policy 3-1.5.2 3.1.2.5: Rehabilitation and Adaptive Re-Use of Historically Significant Housing.~~

~~Assist the rehabilitation and adaptive re-use of historically significant housing through available technical and economic assistance programs.~~

~~Policy 3-1.5.3 3.1.2.6: Grants for Preserving Historically Significant Housing.~~ The Town shall Pursuant to Ord. 549, ~~Assist property owners of historically and culturally significant housing in applying for and utilizing available State and Federal assistance programs.~~

~~OBJECTIVE 3-1.3: SITES FOR MANUFACTURED HOUSING.~~ ~~Indian River Shores is located on a narrow barrier island unprotected from the impacts of hurricane events. Nevertheless, the Town of Indian River Shores shall not discriminate against any form of housing, including manufactured housing that meets Florida Building Code requirements for mitigating wind events.~~

~~Policy 3-1.3.1: Land Development Code Compliance.~~ ~~Building codes within the Town shall be consistent with Florida Building Code requirements governing construction in coastal areas.~~

~~OBJECTIVE 3-1.4: PROVIDE OPPORTUNITIES FOR GROUP HOMES, HOUSING FOR THE ELDERLY AND FOSTER CARE FACILITIES.~~ ~~The Town shall promote housing opportunities to meet the unique housing needs of vulnerable populations.~~

~~Policy 3-1.4.1: Consistency with State Regulations.~~ ~~The Town will ensure that State and Federal laws are upheld when considering applications for congregate living facilities.~~

~~OBJECTIVE 3-1.5: PRESERVE HISTORICALLY SIGNIFICANT HOUSING.~~ ~~Housing resources identified as historically significant shall be preserved and protected for residential uses.~~

~~Policy 3-1.5.4: Assist Indian River County Historic Preservation Society.~~ ~~The Town shall assist the Indian River County Historic Preservation Society in its efforts to provide public information, education, and technical assistance relating to historic preservation programs.~~

~~OBJECTIVE 3-1.6: RELOCATION HOUSING.~~ ~~Uniform and equitable treatment of persons and businesses displaced by State and local government programs shall be provided consistent with statutory requirements.~~

~~Policy 3-1.6.1: Provide Alternative Housing Sites for Displaced Structures and Residents.~~ ~~Currently, no public actions are anticipated that will displace persons or facilities. However, if in the future public actions are proposed which shall displace persons or structures, the Town shall coordinate as necessary with the developers and potential displaced persons in order to identify alternative sites with comparable residential facilities.~~

~~OBJECTIVE 3-1.7: CONSERVE NEIGHBORHOOD QUALITY AND EXISTING HOUSING STOCK.~~ ~~The useful life of the existing housing stock shall be conserved through effective implementation of laws,~~

ordinances, and programs directed toward preserving neighborhood quality, including conservation of natural resources, maintenance of community facilities, and code enforcement activities.

Policy 3-1.7.2: Plan Supportive Facilities and Services for Quality Residential Neighborhoods.

Sufficient systems for delivery of public facilities and services supportive to a quality residential environment shall be planned, designed and implemented as necessary. A capital improvement program and budget predicated on continuing review and evaluation of evolving housing problems and issues shall be the principal tool for realizing this objective.

Policy 3-1.7.3: Minimize Potential Blighting Influences. Potential blighting influences within residential areas shall be minimized by promoting use of best management principles and practices of land use planning, urban design and landscaping in development and site plan review. For instance, adverse impacts of land use transition shall be minimized by managing the location as well as the density or intensity of mixed or conflicting residential and non-residential uses and by requiring adequate screening, landscaping, and other design features which promote land use compatibility and appropriate land use transition.

Policy 3-1.7.4: Coordinate Public / Private Partnerships. In addressing housing issues requiring unique partnerships involving the public and private sector, the Town shall promote effective communication and innovative approaches. For instance, the Town shall work with the private sector and Indian River County in developing programs referenced in Objective 3-1.1 and pursuant to timeframes established therein.

Policy 3-1.7.6: Special Housing Studies. In order to maintain housing policies responsive to changing conditions, problems, and issues, the Town shall undertake special housing studies as needed in order to develop specific local strategies for resolving unanticipated housing problems and issues.

OBJECTIVE 3-1.8: CONTINUING EVALUATION OF HOUSING ELEMENT EFFECTIVENESS. The Town shall use the following policies as criteria in evaluating the effectiveness of the Housing Element.

Policy 3-1.8.1: Review the Impact of Change Indicators on Housing Policy. Major shifts in the magnitude, distribution, and characteristics of population and housing shall serve as indicators of change in various aspects of housing supply and demand. Housing policy shall be refined as needed in order to remain responsive to changes in the demographics of the Town.

PUBLIC FACILITIES AND CAPITAL IMPROVEMENTS ELEMENT

Purpose

Pursuant to Ord. 570, the purpose of the Public Facilities and Capital Improvements Element is to serve as a general sanitary sewer, solid waste, drainage, potable water, and natural groundwater aquifer recharge element, as well as a capital improvements element. The requirements of Sections 163.3177(3)(a) and 163.3177(6)(c) are combined into this element to reflect the Town's relatively small and residential character. The Town has limited public facilities and capital improvements needs. Sanitary sewer and potable water services are purchased from the City of Vero Beach through an established Interlocal Agreement. The Town purchases less than the 300 million gallons per day (MGD) threshold to qualify for the requirement of a Water Supply Facilities Work Plan, as established in Section 163.3177(c)5., Florida Statutes.

The public facilities component of this element endeavors to establish Level of Service (LOS) standards which ensure that the adverse environmental impacts of development are minimized, while also providing for the utility and amenity needs of the residents of the Town. This is especially vital due to the Town's location on a barrier island which is bordered by the Indian River Lagoon and Atlantic Ocean.

The capital improvements component of this element endeavors to outline the principles for construction, extension, or increase in the capacity of public facilities to respond to the demand for public services. This element also includes the Town's adopted 5-year Capital Improvements Program (CIP). The CIP provides a schedule of capital improvements from Fiscal Year 2023 through Fiscal Year 2028.

~~4.1 PUBLIC FACILITY GOALS, OBJECTIVES, AND IMPLEMENTING POLICIES. This section stipulates and implements goals, objectives, and policies for the Public Facilities Element to include a general sanitary sewer, solid waste, drainage, potable water, and natural groundwater aquifer recharge element combined with the capital improvements element pursuant to, 163.3177(6), F.S.~~

~~GOAL 4.1: NEEDED PUBLIC FACILITIES. Ensure availability of needed public facilities in a manner which protects investments in existing facilities and promotes orderly, compact growth.~~

~~OBJECTIVE 4.1.1: ENSURE AVAILABLE PUBLIC FACILITIES, MAXIMIZE USE OF EXISTING PUBLIC FACILITIES, AND PREVENT URBAN SPRAWL. The Town of Indian Shores has adopted its LDC which includes performance standards requiring that requisite public facilities be provided concurrent with the impacts of new development.~~

~~A concurrency management program has been adopted as part of the land development regulations and shall ensure that existing and planned public facilities shall be used to their maximum feasible extent in order to:~~

- ~~• achieve economy of scale;~~
- ~~• promote compact growth; and~~
- ~~• prevent urban sprawl.~~

~~The Town of Indian River Shores has adopted procedures to ensure that at the time a development permit is issued, adequate facility capacity is available or will be available concurrent with the impacts of proposed development.~~

Policy 4.1.1.1: Level of Service Standards. ~~The level of service standards have been adopted into Chapter 168 of the Town's Code of Ordinances and shall be used as the basis for determining the availability of facility capacity and the demand generated by a development for sanitary sewers, solid waste, drainage and potable water.~~

~~Sanitary Sewers:~~

~~Solid Waste:~~

~~21.0 pounds per capita per week (or 3.0 lbs. per capita/day)~~

~~Drainage:~~

~~25-year, 24 hour design storm; post-development conditions shall not increase the amount or rate of run-off beyond pre-development conditions. In addition, by 1995 a minimum of fifty (50) percent additional treatment shall be provided for effluent discharged into the Indian River Lagoon or the Town shall by 1995 construct a more environmentally acceptable point of discharge which does not impact the Indian River Lagoon.~~

~~Potable Water:~~

~~Residential—450 gallons per dwelling unit per day; (200 gallons per capita per day)~~

~~Commercial—2,500 gallons per day per gross acre (i.e., equivalent to 22 gallons per capita per acre per day)~~

~~In order to ensure that these levels of service standards are maintained, methodologies for determining available capacity and demand shall incorporate appropriate peak demand coefficient for each facility and for the type of development proposed.~~

OBJECTIVE 4.1.1: Provide adequate public facilities access and minimize the adverse effects of development by establishing equitable LOS standards.

Policy 4.1.1.1: The LOS standards for public sanitary sewer service, as provided to the Town by the City of Vero Beach, are:

- a. Residential Land Uses:
 - i. 225 gallons per day (GPD) per dwelling unit. ~~(113 gals. per capita per day)~~
 - ii. 113 GPD per capita.
- b. Commercial Land Uses:
 - i. 2,500 GPD per acre of commercial development. ~~(i.e. equivalent to 22 gallons per capita per acre per day)~~
 - ii. 22 GPD per capita.

Policy 4.1.1.2: The LOS standards for public potable water service, as provided to the Town by the City of Vero Beach, are:

- a. Residential Land Uses:
 - i. 450 GPD per dwelling unit.
 - ii. 200 GPD per capita.
- b. Commercial Land Uses:

- i. 2,500 GPD per acre of commercial development.
- ii. 22 GPD per capita per acre of commercial development.

Policy 4.1.1.3: The LOS standards for development for stormwater and drainage as required by the LDC are:

- a. For all developments, current or future, the 25-year, 24-hour storm event post-development conditions must not increase the amount or rate of run-off beyond pre-development conditions.
- b. Prohibit direct outflows and effluent discharge into the Indian River Lagoon, Atlantic Ocean, or any other environmentally sensitive body of water.
- c. For any indirect outflow and effluent discharge into the Indian River Lagoon, a minimum of fifty (50) percent additional treatment must be provided.
- d. Stormwater discharge facilities must be designed so as to not lower receiving water quality or degrade the receiving water body below minimum conditions necessary to assure the suitability for the designated use of its classification as established in Chapter 62-302, Florida Administrative Code.
- e. Retention and detention requirements must meet minimum St. Johns River Water Management District requirements.
- f. Retention of the first inch of runoff.
- g. When ten (10) slips or ten (10) percent or more of the total number of slips, whichever is greater, are added, pump-out facilities must sufficiently accommodate the pump-out requirements concurrent with the total number of slips.
- h. Prior to the operation of any new marina fueling facility or expansion due to an existing facility, a fuel management/spill contingency plan will be developed and provided to the Town for review. The plan must describe methods to be used in dispensing fuel and all the procedures, methods, and materials to be used in the event of a fuel spill.

Policy 4.1.1.4: The LOS standards for solid waste removal and disposal are, as provided through municipal contract, are:

- a. 21 pounds per capita per week.
- b. 3.0 pounds per capita per day.

Policy 4.1.1.5: The LOS standards for all roads and streets within the Town, as established in the Transportation Element of the Town Comprehensive Element, are:

- a. A minimum LOS of C for all collector and arterial roads.
- b. A minimum of LOS D for all collector and arterial roads during peak tourist season.

~~**Policy 4-1.1.2 4.1.1.6: Compliance with Level of Service Standards.** All improvements for replacement, expansion or increase in capacity of facilities shall be compatible with the adopted level of service standards for the facilities. Issuance of development orders or permits shall be conditioned upon demonstrated compliance with applicable Federal, State, and Local permit requirements for potable water, wastewater, drainage, and solid waste facilities. Prior to issuance of a development order, proposed developments must demonstrate concurrency with all applicable adopted LOS standards.~~

~~**Policy 4.1.1.37: Demand and Supply Information System.** Pursuant to Ord. 570, the Town has developed procedures for updating its facility demand and capacity information to meet future needs and prioritize advanced waste treatment as feasibly and consistent with the goals, objectives, and policies of the Indian River Shore Comprehensive Plan.~~

Policy 4-1.1.4: Coordination Between Future Land Use and Potable Water / Wastewater System Needs. The Town has adopted land development code provisions which shall be enforced to ensure that incremental decisions by the Town concerning potable water and wastewater system needs occasioned by new development shall be consistent with land use and conservation resource management policies stipulated in the Comprehensive Plan.

Policy 4.1.1.8: Areawide Planning for Potable Water and Wastewater Systems and Solid and Hazardous Wastes Disposal. The Town shall coordinate with the City of Vero Beach and Indian River County in order to promote continued maintenance of cost effective areawide service delivery system for potable water and wastewater systems as well as solid and hazardous waste. Similarly, proliferation of small fragmented systems shall not be permitted except in cases where the Town Council determines that the public health and safety is served by such a system and areawide service systems cannot be relied upon. Small fragmented systems will not be permitted, and sanitary sewer services shall be consolidated into the central sewer system by July 1, 2030.

OBJECTIVE 4.1.2: MAINTAINING A SCHEDULE OF PUBLIC FACILITY CAPITAL IMPROVEMENT NEEDS. ~~The Town shall develop and maintain a five-year schedule of capital improvement needs for public facilities and shall annually update the schedule as stipulated in the Capital Improvements Element. During the process of programming and budgeting for capital outlays, the Town shall investigate new ways to finance public facilities and services, including impact fees and grant funding.~~ Maintain a schedule of public facility capital improvement needs which projects a schedule of capital improvements which ensures the Town's solvency and prioritizes projects that are necessary to meet the existing and projected demands on public facility LOS standards.

Policy 4-1.2.1: Capital Improvement Schedule. ~~The Town Council, after considering the recommendations of the Planning and Zoning Board, shall annually evaluate and rank capital improvement projects proposed for inclusion in the five-year schedule of capital improvement needs.~~

Policy 4-1.2.2 4.1.2.1: Public Facility Evaluation Criteria. ~~Proposed capital improvement projects shall be evaluated and ranked according to the following priority level guidelines:~~ Evaluate and rank proposed capital improvements projects based on following priority level guidelines:

- a. "Level 1": Whether the project is financially feasible and is needed to:
 - i. Protect public health and safety;
 - ii. Fulfill the Town's commitment to provide facilities and services;
 - iii. Preserve or achieve full use of existing facilities; and
 - iv. Maintain compliance with State agencies or the SJRWMD St. Johns River Water Management District that provide public facilities within the Town of Indian River Shores.
- b. "Level 2": Whether the project accomplishes the following:
 - i. Increases efficiency of existing facilities;
 - ii. Prevents or reduces future improvement costs; and
 - iii. Provides service to developed areas lacking full service or promotes in-fill development or redevelopment.
- c. "Level 3": Whether the project:
 - i. Represents a logical extension of facilities and services for redevelopment in a manner consistent with future Land Use Element goals, objectives and policies, including the Future Land Use Map.

OBJECTIVE 4.1.3: PROCEDURES AND STANDARDS FOR ON-SITE WASTEWATER TREATMENT SYSTEMS. Pursuant to Ord. 548 and Ord. 570, ~~T~~the Town has adopted land development regulations which contain performance standards that ensure that new developments hook up to available central wastewater sewer systems which meet State standards for inspections, operation, and maintenance. Any package treatment plant shall be designed in a manner to facilitate consolidation into the central system ~~when central sewers are available.~~ by July 1, 2030.

Policy 4.1.3.1: Use of On-Site Wastewater Treatment Systems. ~~Use of on-site wastewater treatment systems shall be limited to the following conditions:~~

- a. Existing septic tank and package treatment plants may remain in service until ~~such time as centralized service is made available.~~ July 1, 2030.
- b. Use of septic tank systems for new development shall be restricted to sites on which the Florida Department of Health (FDOH) /Florida Department of Environmental Protection (FDEP) renders a finding that the site and facility design is in compliance with State and local regulations governing the same.
- c. Use of package treatment plants shall comply with applicable laws governing the location, use, and design of the facility. Package treatment plants shall be designed in a manner which facilitates integration into an area-wide or regional system in the future.
- d. Periodic inspection of on-site systems shall be required to ensure continuance of system design and maintenance.

Prohibit the installation of Onsite Sewage Treatment and Disposal Systems (OSTDS), commonly known as septic systems, unless the proposed OSTDS demonstrates a nitrogen-reducing system which achieves at least a sixty-five (65) percent reduction in nitrogen nutrient loads over traditional OSTDS, in accordance with FDEP requirements and Florida State Statutes.

Policy 4.1.3.2: Continue to work cooperatively with the City of Vero Beach and Indian River County to expand the sanitary sewer system in the Town and eliminate the use of OSTDS.

~~Policy 4-1.3.2~~ 4.1.3.3: Coordinate with the FDOH/FDEP. ~~The Town's LDC shall require that all proposed development which impacts an existing septic tank or generates need for a new septic tank be required to provide evidence of approval by the Florida Department of Health prior to receiving a development order or permit from the Town. Any such approval by the Town of Indian River Shores shall be conditioned upon the applicant's compliance with the Town's utility provider for ongoing facility maintenance and operation. It should be noted at the time of drafting this, that there is legislation that became effective July 1, 2020 that transitions these duties to the Florida Department of Environmental Protection (DEP).~~

~~Policy 4-1.3.3~~ 4.1.3.4: Conditions Governing Development Orders or Permits. ~~Issuance of development orders or permits shall be conditioned upon demonstration of compliance with applicable Federal, State, and local permit requirements for on-site wastewater treatment systems.~~

The Town shall regulate the location, timing, and scale of development in order to ensure that new development shall be effectively served by wastewater services. The Town shall discourage the proliferation of package treatment plants. System reviews shall be coordinated with the Florida Department of Health in order to promote best management practices and compliance with relevant State

permitting procedures. Similarly, the Town shall discourage extensive use of septic tanks and wastewater drain fields on areas with characteristics or conditions unsuited for their adaptation.

Policy 4.1.3.5: Compliance with On-Site Wastewater Treatment and Water Quality Regulations. The Town shall coordinate with appropriate Federal, State, and County agencies and amend local ordinances as may be required to ensure that issuance of permits for replacement or expansion of existing on-site wastewater treatment systems is conditioned upon compliance with current regulatory requirements and water quality standards.

Policy 4.1.3.6: Compliance with Boating “No Discharge” Regulations. The Town shall cooperate with Florida Fish and Wildlife Conservation Commission, Indian River County, and neighboring communities to ensure compliance with boating “no discharge” regulations as stipulated under Florida Statute 327.53 and the Clean Vessel Act program in order to eliminate discharge of raw sewage into the Lagoon.

Policy 4.1.3.7: Wastewater Treatment and Remediation. Indian River Shores has considered the feasibility of providing sanitary services to development of more than 50 residential lots, whether built or unbuilt, with more than one onsite sewage treatment and disposal system per acre by 2030. The analysis required by 163.3177(6)(c)(3), F.S. titled the “Town of Indian River Shores Wastewater Treatment and Remediation Plan” has been completed and includes the name and location of wastewater facility, capacity of facility, projected flow, and timeline. The Town will provide the Florida Department of Environmental Protection (FDEP) with an annual update in partnership with the City of Vero Beach on the status of the construction of sanitary sewers.

OBJECTIVE 4.1.4: WATER SUPPLY PLANNING Pursuant to Ord. 562, tThe Town shall maintain a Water Supply Facilities Work Plan as required by Florida Statutes.

Policy 4.1.4.1: Maintaining a Water Supply Facilities Work Plan (WSFWP). The Town shall maintain a WSFWP that is coordinated with St. Johns River Water Management District’s Central Springs East Coast Regional Water Supply Plan (CSEC RWSP). The Work Plan and related Comprehensive Plan policies will be updated as necessary, within 18 months of an update of the CSEC RWSP that affects the Town.

Policy 4.1.4.2: Water Supply Facilities Work Plan. The Town’s Water Supply Facilities Work Plan (2022-2040) is incorporated into the Comprehensive Plan as Exhibit B of the Public Facilities Element and Capital Improvements Element.

Policy 4.1.4.3: Water Supply Facilities Work Plan Contents. The WSFWP Contents shall identify the water conservation and reuse practices, along with the traditional and alternative water supply projects and programs, necessary to meet existing and future water demands.

Policy 4.1.4.4: Water Supply Facilities Work Plan Related Projects. The WSFWP will incorporate and identify those projects contained in the CSEC REWSP and selected by the Town for implementation (if any).

Policy 4.1.4.5: Participation in SJRWMD’s Water Supply Planning Efforts. The Town will participate in the development of updates to the SJRWMD CSEC RWSP and other Water Supply development-related initiatives facilities by the SJRWMD that affect the Town.

Policy 4.1.4.6: Participation in Vero Beach and Indian River County's Water Supply Planning Efforts. The Town will monitor and participate, as necessary, in the City of Vero Beach and Indian River County's Water Supply planning process to ensure that these Entities accounts for and meets the Tonw's current and future water needs.

OBJECTIVE 4.1.5: Protect the functions of natural groundwater recharge areas within the Town.

Policy 4.1.5.1: Coordinate with St. Johns River Water Management District in providing for the maintenance of aquifer recharge area functions and identification of deep aquifer wells.

Policy 4.1.5.2: Coordinate with St. Johns River Water Management District in capping, plugging, or otherwise regulating the discharge of water from the deep aquifer.

Policy 4.1.5.3: Encourage stormwater management practices that support groundwater recharge, consistent with applicable regulations.

GOAL 4.2: PROVIDING FACILITIES TO MEET EXISTING AND PROJECTED DEMANDS. PURSUANT TO ORD. 562 and ORD. 570, ENSURE THAT WASTEWATER SYSTEMS, SOLID WASTE DISPOSAL, DRAINAGE AND POTABLE WATER FACILITIES AND SERVICES ARE AVAILABLE TO MEET EXISTING AND PROJECTED DEMANDS IDENTIFIED IN THE COMPREHENSIVE PLAN.

OBJECTIVE 4.2.1a: Reconcile Existing Wastewater Deficiencies. There are no existing deficiencies in wastewater systems. However, the Town shall ensure that deficiencies identified in the short-term future in wastewater services are corrected by undertaking the following projects:

Policy 4.2.1a.1: Wastewater System Projects. The Town shall annually coordinate with the City of Vero Beach in order to achieve timely identification, funding and scheduling of any needed future wastewater system needs to facilitate consolidation of on-site wastewater treatment systems into the central sewer system by July 1, 2030.

Policy 4.2.1a.2: Use of Graywater for Irrigation. The Town shall promote application of innovation concepts in wastewater collection and disposal, including wastewater reuse through such programs as use of "graywater" for spray irrigation. System improvements should integrate proven technological concepts in order to enhance cost effectiveness, conserve natural resources, and promote multiple use of water resources.

Policy 4.2.1a.3: Management Criteria for Wastewater Services. The Town shall coordinate and cooperate with the primary utility provider which provides wastewater collection and disposal services to the Town of Indian River Shores. These efforts shall be directed toward achieving consolidation of on-site wastewater treatment systems into the central sewer system by July 1, 2030.

The Town has adopted its LDC which ensures that wastewater system improvements shall be located, designed, and installed in a manner which is most cost effective, functional, responsive to the specific wastewater service needs of existing and planned future land uses within the service area, and compatible with surrounding natural systems. The extension of wastewater lines shall be located and installed in a manner which prevents undue loss of established tree canopies. Existing features of land altered by construction shall be stabilized to minimize erosion, siltation, and sedimentation. The timing and staging of improvements shall be scheduled to consolidate on-site wastewater treatment systems

into the central sewer system by July 1, 2030 and in a manner which minimizes disruptive impacts on residential quality and on traffic flow.

OBJECTIVE 4.2.24b: RECONCILE EXISTING SOLID WASTE DEFICIENCIES. The Town has not identified any existing solid waste deficiencies. However, the Town shall participate on a Joint Task Force or similar committee organized by Indian River County in order to analyze and coordinate new solid waste management directives stipulated in State legislation as cited in the below stated policy.

Policy 4.2.24b.1: Solid Waste Projects. The Town shall Coordinate with Indian River County's on solid waste management and hazardous waste planning efforts program to achieve improvements in hazardous waste collection and disposal. The Town shall cooperate with county officials and technicians on a Joint Committee or through other appropriate mediums in order to address countywide approaches for achieving access to resource recovery facilities or other alternatives to conventional landfill operations. Other specific issues which shall be addressed include:

- a. Enhancing solid waste collection and transfer operations;
- b. Management strategies for implementing recycling efforts;
- c. Discourage illegal dumping of solid waste as well as disposal activities which adversely impact natural systems;
- d. Participating in the County's opportunities for recycling, including curbside residential pick up, to help meet the County's goals for reduction of solid waste;
- e. Developing improved information dissemination regarding hazardous waste generators;
- f. Determining feasibility of hazardous waste storage/transfer facilities;
- g. Improving management of the collection and disposal of hazardous waste; and
- h. Drafting policy for appropriate regulatory measures governing solid waste and hazardous waste, including identification of long term operating costs and capital improvement needs associated with various policy options.

Policy 4.2.24b.2: Coordinate with Indian River County Hazard Waste Planning Efforts. The Town shall offer assistance to Indian River County as the County assesses and plans for hazardous waste management in a manner consistent with the provisions of §403.7265, F.S.

OBJECTIVE 4.2.34e: RECONCILE EXISTING POTABLE WATER DEFICIENCIES. The Town of Indian River Shores has no existing potable water system deficiencies requiring capital investment by the Town. The Town has adopted its LDC which ensures that future potable water system improvements shall be located, designed, and installed in a manner which is most cost effective, functional, responsive to the specific potable water needs of existing and planned future land uses within the service area, and compatible with surrounding natural systems.

The extension of water mains shall be located and installed in a manner which prevents undue loss of established tree canopies. Existing features of land altered by construction shall be stabilized to minimize erosion, siltation, and sedimentation. The timing and staging of improvements shall be scheduled in a manner which minimizes disruptive impacts on residential quality and on traffic flow.

Policy 4.2.34e.1: Potable Water System Projects. The Town shall coordinate as necessary with the primary provider of potable water service to the Town. In addition, the Town shall coordinate with the Indian River County Water Utilities that provides water service to the Baytree Condominium.

Policy 4.2.34e.2: Potable Water Conservation. In addition to potable water conservation policies in 6-1.2.7 of the conservation element, the Town is committed to decreasing potable water consumption by use of reclaimed water for irrigation and other policies.

OBJECTIVE 4.2.44d: RECONCILE EXISTING DRAINAGE DEFICIENCIES. The Town has adopted land development codes which ensure that future drainage system improvements shall be designed and constructed to satisfy adopted level of service standards.

Policy 4.2.44d.1: Surface Water Management Design Criteria. The Town has adopted its LDC to incorporate design standards consistent with adopted level of service standards and resource conservation policies within the Comprehensive Plan. The Town shall continue to explore further reductions that help eliminate untreated stormwater from discharging into the Indian River Lagoon like the baffle box installation on Indian Lane Outfall and the inlet basket filtration systems on Old Winter Beach Road.

OBJECTIVE 4.2.54e: COMPLIANCE WITH COMPREHENSIVE PLAN. All major public facility projects in the Town's annual Capital Improvements Plan shall be undertaken in accordance with this Plan, as may be hereinafter amended.

Policy 4.2.54e.1: Priority for Correcting Existing Deficiencies. In developing the annual schedule of Capital Improvement Projects, the Town shall assign highest priority to those projects required for purposes of correcting existing deficiencies. The Town's Five Year Schedule of Capital Improvements is adopted annually during the Budget process and is placed in the Appendix of this Chapter.

Policy 4.2.54e.2: Existing Deficiencies Shall Not Be Increased by New Development. The Town shall not issue a development order for new development which would result in an increase in demand on deficient facilities prior to completion of improvements needed to bring the respective facility up to standard. The Town shall include a concurrency review for public facilities as part of acquired amendments to the Town's LDC. A Concurrency review mandates that future applications for development shall include a written evaluation of the impact of the anticipated development on the levels of services for the water and wastewater systems, solid waste system, drainage, recreation, and the traffic circulation system. Prior to issuing a building permit, the Town shall render a finding that the applicant has provided written assurance that the proposed development shall be served with each of the above cited facilities with a level of service at least equal to that level of service stipulated in Policy 4.1.1.1. The developer's application shall include written assurances that any required improvements shall be in place concurrent with the impacts of the development (i.e., by the time a certificate of occupancy is granted by the Town).

OBJECTIVE 4.2.62: MEETING PROJECTED PUBLIC FACILITY DEMANDS TO 2035. The Town shall meet projected public facility demands through the year 2035 by undertaking the following projects:

- a. Wastewater System Projects. The Vero Beach Utilities Department has completed a major extension of its wastewater system into Indian River Shores. These improvements shall satisfactorily provide wastewater service to Indian River Shores for the next planning period.
- b. Solid Waste Projects. No additional capital improvements are needed for the next planning period.
- c. Potable Water System. The Vero Beach Utilities Department completed extension of services into un-serviced areas of Indian River Shores. No further improvements will be necessary for the next planning period.
- d. Drainage Projects. The Town will monitor and implement drainage projects

Policy 4.2.62.1: Coordinate with the Comprehensive Plan. All public facility projects shall be undertaken in accordance with the schedule provided in the Capital Improvements Element of this Plan.

Policy 4.2.62.2: Public Facility Planning and Management Efficiency. In scheduling the location, timing and staging of public facility improvements, the Town Council shall use the following criteria:

- a. Minimize disruption of services;
- b. Prevent duplication of labor; and
- c. Maintain service levels for all respective facilities.

Policy 4.2.62.3: Additional Public Facility Project Approvals. All required Federal, State, and County permits shall be obtained before the Town undertakes or authorizes contractors to undertake construction and/or operation of facilities.

GOAL 4.3: PROVIDE ADEQUATE DRAINAGE. PROVIDE ADEQUATE STORMWATER DRAINAGE IN ORDER TO PROTECT AGAINST FLOOD CONDITIONS AND PREVENT DEGRADATION OF QUALITY OF RECEIVING WATERS.

OBJECTIVE 4.3.1: PROTECT NATURAL DRAINAGE FEATURES. The Town has amended its stormwater drainage and flood prevention regulations as well as Comprehensive Plan level of service standards as needed in order to protect natural drainage features and ensure that future development utilizes stormwater management systems compatible with the Town's master stormwater drainage plan. The Town has adopted the LDC to incorporate the following factors:

- a. The Town shall increase the storm event standard for on-site drainage calculations to meet FEMA Standards for flood protection and require those drainage improvements to ensure that post-development run-off rates, run-off volumes and pollutant loads for development do not exceed pre-development conditions.
- b. Existing stormwater engineering, design, and construction standards for on-site systems shall be evaluated and amended as needed;
- c. Existing standards for erosion and sediment controls shall be evaluated and amended, if necessary; and
- d. Periodic inspection of on-site systems shall be required to ensure continuance of system design and maintenance.

Policy 4.3.1.1: Ensure that Urban Lands are Provided Adequate Drainage and Protection from Flooding and Manage the Retention of Ground and Surface Water at Levels that Enhance Natural Storage Capacity of Watersheds and Promote Aquifer Recharge. Promote the ecological, biological, and hydrological role that surface waters play in sustaining recharge to aquifers and supporting surface

vegetation. Manage the location design and intensity of urban development in order to foster continuance of natural hydrological processes, including pre-serving recharge areas, promoting on-site retention of surface waters and natural return of surface water into the soil, and channeling excess stormwater volume primarily via natural grassy swales. Require the integration of natural storage areas and natural drainage courses into water management plans for new development.

Policy 4.3.1.2: Provide Adequate On-Site Retention and Ground Water Recharge while Directing the Surplus Run-off to Receiving Waterways in a Manner which Prevents Imbalance to their Ecosystems. The Town's surface water management program shall be designed to protect and preserve the hydrological and ecological functions of the Town's water resources while permitting the most favorable beneficial uses to occur. The Town of Indian River Shores shall promote both land and water management programs and practices which retard runoff and enhance percolation in order to increase the quantity and protect the quality of groundwater. Land use controls, such as subdivision regulations, zoning, including site plan review and performance criteria, and special erosion control, landscape and flood management ordinances shall be used to accomplish this program. The programs shall be continually updated based on improved knowledge of problems, issues, and best management practices.

Policy 4.3.1.3: Pursue the Development of Adequate Off-Site Surface Water Management Facilities. The Town shall monitor at regular intervals the performance of existing off-site drainage facilities, evaluate existing and potential future problems or issues, and pursue the funding of necessary structural and non-structural system improvements for effective surface water management. All new developments shall provide an equitable contribution for off-site drainage improvements necessitated by the development. No new development shall be allowed which overloads existing off-site facilities or unduly increases the potential for flooding.

Policy 4.3.1.4: Coordinate Watershed Management Plans and Policies with Appropriate Public Agencies. Pursuant to Ord. 570, ~~E~~ensure coordination of watershed management plans and policies, with appropriate local, Regional, State and Federal agencies, including Indian River County, City of Vero Beach, the St. Johns Water Management District, Treasure Coast Regional Planning Council, the Florida Department of Environmental Protection, the United States Army Corps of Engineers, and other appropriate agencies. This includes collaboration on any water quality monitoring or research that may impact the watershed.

Policy 4.3.1.5: Buffer Zone Requirements. The Town has adopted its LDC which includes buffer zone requirements for areas adjacent to natural drainage features. The buffer zone requirements are implemented to protect the functioning of natural drainage features.

Policy 4.3.1.6: Managing Land Use in the Floodplain. The Town has adopted stormwater management and floodplain regulations to incorporate the adopted level of service standards. These regulations shall address necessary restrictions on encroachment, alteration, and compatible use of the floodplain and major drainage corridors. The Town will review and update these regulations as required.

Policy 4.3.1.7: Implementing Master Drainage Plan. The Town may establish any funding mechanisms necessary to draft and implement the above referenced stormwater drainage improvements, including, but not necessarily limited to:

- a. Plans for protecting natural drainage corridors and other natural drainage features, including acquiring necessary drainage easements;
- b. Funding mechanisms necessary for achieving drainage improvements within each sub-basin;

- c. Special consideration of the impacts of existing and future land development adjacent to the Indian River Lagoon which is an "Outstanding Florida Water"; and
- d. Organizational structure and funding mechanisms for carrying out necessary operation and maintenance programs.

Policy 4.3.1.8: Inspection and Maintenance of Drainage Systems. As part of the Master Stormwater Drainage Plan implementation program, the Town shall ensure that major drainage systems are inspected and receive required maintenance on at least an annual basis.

GOAL 4.4: PROTECT FUNCTIONS OF GROUNDWATER AQUIFER RECHARGE AREAS. THE FUNCTIONS OF NATURAL GROUNDWATER AQUIFER RECHARGE AREAS WITHIN THE TOWN SHALL BE PROTECTED AND MAINTAINED.

OBJECTIVE 4.4.1: COORDINATE ISSUES SURROUNDING AQUIFER RECHARGE. The Town shall coordinate with Indian River County and the St. Johns River Water Management District in providing for maintenance of aquifer recharge area functions. The Town has adopted the LDC that includes performance standards that reinforce natural hydrologic relationships that optimize erosion control, percolation, and recharge of groundwater in order to enhance water quality. The Town shall assist management of recharge areas and recharge of groundwater in order to promote continuance of natural hydrological processes to the maximum reasonable extent.

Policy 4.4.1.1: Protect Surficial Aquifer Recharge Areas. Although the Town has no prime deep aquifer recharge areas which have been identified by the St. Johns River Water Management District, the Town has some surficial aquifer recharge areas. Requirements shall be incorporated into the Town's LDC which require retention of open space for all development in order to preserve the quality and quantity of water resources within the surficial aquifer.

Policy 4.4.1.2: Deep Aquifer Water Conservation. In order to protect the quality and quantity of deep aquifer water resources, the Town shall coordinate with the St. Johns River Water Management District and other applicable regulatory agencies in identifying free flowing deep aquifer wells and in requiring corrective measures, including capping, plugging, or installing regulatory devices which control the discharge of water from the deep aquifer.

Policy 4.4.1.3: Retain Run-off to Maximize Recharge. The Town shall continue to enforce stormwater management regulations requiring retention of stormwater run-off to maximize groundwater recharge.

Policy 4.4.1.4: Coordinate with Other Recharge Protection Programs. The Town shall coordinate with local, State, and Federal agencies to achieve regional aquifer recharge protection objectives.

The Town shall assist in protecting groundwater from point and nonpoint pollution sources. Similarly, the Town shall promote the conservation and efficient use of water as it travels through groundwater systems and promote maintenance of adequate supplies of high-quality groundwater. The Town shall assist the State and St. Johns Water Management District in managing water quality by assisting in preventing the discharge of inadequately treated wastewater and poor-quality stormwater into public water bodies.

Policy 4.4.1.5: Conservation of Potable Water Supply. In order to achieve a reduction in the current rates of water consumption, the Town of Indian River Shores' LDC shall incorporate the following performance standards:

- a. The Town shall use reclaimed water for irrigation as specified in the analysis of potable water. Where non-potable alternative sources of irrigation water are available, potable water supplies may not be used to meet irrigation needs.
- b. In compliance with Florida Building Code, the Town shall require the use of water saving plumbing fixtures on all new development.
- c. In order to reduce demand for irrigation water (which in turn often places greater demand upon potable water sources), at least thirty (30%) percent of all landscaping material obtained from off-site sources for use on any site should be native plant material adapted to soil and climatic conditions existing on the subject site. Further, at least fifty (50%) percent of all trees used in landscaping shall be native species adapted to soil and climatic conditions existing on-site in order to lessen water demand. The adopted level of service, including the quantified reduction in potable water consumption is stated in Policy 4-2.1c.2.

APPENDIX: FIVE YEAR CAPITAL IMPROVEMENT PLAN

COASTAL MANAGEMENT ELEMENT

Purpose

This section stipulates and implements goals, objectives, and policies for the Coastal Management Element pursuant to ~~¶163.3177(6)(g) and ¶163.3178, FS.~~

The purpose of the Coastal Management Element is to maintain, restore, and enhance the overall quality of the coastal environment, while balancing the ecological health of living and non-living natural resources in the coastal zone, protecting historically significant archaeological and cultural resources, and protecting human life and capital investments in the coastal zone. As an element of the Town Comprehensive Plan required by Sections 163.3177(6)(g) and 163.3178, Florida Statutes, the Coastal Element endeavors to balance the statutory mandates of protecting the health and wellbeing of both the natural coastal environment while also ensuring that human life and capital investments are protected and enhanced. The Town is located on a barrier island, which makes protecting the coastline a particularly vital role of the Town's conservation efforts.

GOAL 5.1: Restrict development activities that would damage or destroy coastal resources and protect human life and limit public expenditures in areas subject to destruction by natural disasters.

OBJECTIVE 5.1.1: ~~Protect, conserve, and enhance the critical natural resources of the Town's incorporated portion of the Barrier Island Indian River Shores barrier island, especially those resources identified in the Indian River Lagoon National Estuaries Program (IRLNEP) including but not limited to the lagoon, manatees, sea turtles, nesting habitats, reef system, beach and dune system, mangrove communities, marine grass beds, saltmarsh grass communities, tidal flats, and oyster bars. The Town has adopted its LDC and shall review, as necessary, performance standards designed to:~~

- ~~a. Prevent potentially adverse impacts of development and redevelopment on wetlands, nesting areas, and other animal habitats;~~
- ~~b. Manage the impacts of development on the Indian River Lagoon, including estuarine resources such as living marine organisms, seagrasses, coastal marsh, and mangroves together with adjacent environmentally sensitive transition areas;~~
- ~~c. Regulate the impacts of development on wildlife habitats;~~
- ~~d. Manage vegetative landscaping, including prohibition of noxious exotic species; and~~
- ~~e. Protect sea turtles, manatees and other threatened species.~~

Policy 5.1.1.1: ~~The Town has adopted a Wetlands Protection Ordinance, which shall restrict development within wetlands and shall require reservation of conservation areas by applicants for upland development who also own title to adjacent wetlands. Continue to enforce the Town's Wetlands Protection Ordinance to restrict development within and which encroaches upon wetlands.~~

Policy 5.1.1.2: Discourage the modification, destruction, or any other form of disruption of seagrass beds and coastal marshes within shallow estuarine waters except in cases necessary to public safety or overriding ecological necessity.

Policy 5.1.1.3: ~~Tidal flushing and circulation patterns generally shall not be altered by development activities. Development shall not produce changes in the tidal flushing and circulations patterns unless the Town and other public agencies having jurisdiction have granted requisite permits. A permit shall not be granted by the Town unless all other agencies having jurisdiction have granted clearance and the~~

~~applicant has submitted hydrographic information sufficient to clearly demonstrate that no adverse environmental impacts shall be occasioned by the proposed changes in tidal flushing and circulation patterns. Finally, no alteration in tidal flow shall be permitted which causes stagnation or siltation. Discourage development which produces changes in the tidal flushing and tidal circulation patterns except in cases necessary to public safety, overriding ecological necessity, or in cases where superseding external agencies with jurisdictional permitting authority grant permitting for such proposed development, where the adverse impacts of development must be minimized and mitigated.~~

Policy 5.1.1.4: ~~Discourage development which adversely impacts submerged lands and the habitats of aquatic fish and wildlife except where such proposed development demonstrates that such impacts are absolutely necessary to the wellbeing of the Town, conditions of ecological necessity are present, and Environmental Resource Permitting has been obtained from the requisite external agencies.~~

Policy 5.1.1.5: Development of spoil islands (i.e., artificial islands created with material dredged from State owned lands) under public ownership shall remain as open space with minimal improvements for passive use. Spoil islands under private ownership shall be regulated pursuant to the following:

- a. Any modification of spoil islands shall be subject to regulation by the Florida Department of Environmental Protection; and
- b. Spoil islands under public ownership shall be left undeveloped to serve as green areas, bird sanctuaries, and/or water-dependent recreation areas not requiring major expenditures of public funds.

~~Continue to limit the development of spoil islands (i.e., artificial islands created with dredged material) to remain as open space, recreational, and/or conservation areas with minimal improvements not requiring public facilities to be used only for passive uses which minimize any adverse environmental impacts.~~

Policy 5.1.1.6: ~~Pursuant to Ord. 549, P~~prohibit the development of docks, including multi-slip docks, ~~shall not be approved by the Town until or unless~~ the applicant demonstrates compliance with all applicable Federal and State laws and administrative rules governing Aquatic Preserves as well as applicable policies of Regional agencies. ~~The Town shall require site plans~~ For all proposed docks facilities, ~~These the plans must demonstrate, to the Town's satisfaction that consistent with the Town Land Development Regulations, that the proposed facilities shall do not~~ adversely impact natural marine resources, including, but not limited to, seagrasses, estuarine waters, manatees, and other living marine organisms; ~~adverse impacts must be avoided or minimized and mitigated where absolute avoidance is not possible. Specifically, the plans shall~~ are required to identify and include:

1. Location relative to all impacted natural marine resources;
2. Structural specifications;
3. Description of all impacted natural marine resources, including their location and physical characteristics;
4. Multi-slip dock facilities shall be located so as to prevent or minimize dredging and shall not disturb seagrass beds or adjacent wetlands;
5. Availability and location of sewage pump-out facilities;
6. Hurricane contingency plans; and
7. Mitigation techniques proposed to compensate for any potential environmental disruption, except for docks for single family homes.

~~Policy 5.1.1.2: Protect the Indian River Lagoon.~~ ~~The Town shall implement policies contained herein and coordinate with Indian River County together with public and quasi-public agencies having jurisdiction~~

over the Indian River Lagoon in order to: a) prevent estuarine pollution; b) control surface water run-off; c) protect living marine resources; d) reduce exposure to natural hazards; e) ensure adequate public access; and f) ensure adequate sites and standards for regulating water dependent and water related uses.

The Town has adopted the LDC, which mandates that the potential impact of proposed shoreline development be analyzed as part of the process and prior to approval of a development permit. The applicant shall bear the burden of demonstrating that potential adverse impacts on estuarine resources have been or shall be prevented or that compensatory mitigation shall occur. The review process shall involve all Local, State, and Regional entities with jurisdictional authority.

Policy 5-1.1.3: Protect, Stabilize, and Enhance the Estuarine Shoreline. The Town has adopted the LDC, which includes performance standards and stipulations that no native vegetation shall be removed from the estuarine shoreline without a duly authorized permit. These regulations will be amended, as necessary. Development other than duly permitted private docks or public infrastructure near the estuarine shoreline shall not encroach on wetlands or transition areas. Development near the Atlantic Ocean shall remain landward of the CCCL, excepting structures and other improvements approved by Florida Department of Environmental Protection (FDEP). Criteria shall be included in the LDC, which require that applicants for development along the estuarine shoreline shall be required to revegetate, stabilize, and enhance any damaged estuarine shorelines by planting native vegetation, including mangrove and/or other native estuarine plant species. Such criteria shall include mitigation resources, which:

- a. —Contribute to marine productivity and water quality;
- b. —Offer protection from erosion and flooding; and
- c. —Contribute to the natural soil building process.

Hardening of the estuarine shoreline on the beach and dune system with rip-rap, bulkheads or other similar devices shall not be allowed unless erosion constitutes a critical peril to upland property and the use of vegetation has failed to stabilize the shoreline. Such shoreline hardening structures shall generally not be vertical seawalls or bulkheads and shall comply with performance standards found in the LDC. The specific location and design of such structures shall be approved by the Town well as well as by other public entities having jurisdiction in the matter. The LDC incorporates performance criteria governing the location and design of such structures.

Policy 5-1.1.4: Protect Living Marine Resources, Coastal Marsh, and Seagrass Beds. Seagrass beds within shallow estuarine waters are habitats for organisms in the marine food chain and perform significant functions related to water quality. Seagrass beds and coastal marsh areas shall not be modified except in cases of overriding public interests. Since these areas are sensitive to increased turbidity and other forms of pollution, water runoff and introduction of nutrients shall be consistent with the historic requirements of the natural system. Any addition of contaminants, including excessive nutrients, shall be minimized through effective water quality management.

Policy 5-1.1.6: Promote Propagation of Fish and Wildlife. The Town has incorporated criteria in the LDC, which require consideration of the impact of development on submerged lands and the habitats for fish and wildlife.

Policy 5-1.1.8: Consider the potential future impacts to coastal areas from perils of flooding in development and redevelopment regulations. Map 5-1 illustrates Coastal High Hazard Area is required by Section 163.3178(2)(h) F.S. The Coastal High Hazard Area as the area below the elevation

of the category 1 storm surge line as established by a Sea, Lake, and Overland Surges from the Hurricane (SLOSH) computerized storm surge models. The Town has utilized the planning tools provided to model the impacts of possible future sea level rise. Map 5-2 illustrates a possible future sea level rise scenario and illustrates what could potentially be areas of storm water inundation.

~~Policy 5-1.1.9: Redevelopment Consistency with Florida Statutes.~~ ~~Redevelopment shall be consistent with, or more stringent than, the flood resistant construction requirements in the Florida Building Code and applicable flood plain management regulations set forth in 44 C.F.R. part 60. Redevelopment shall require that any construction activities seaward of the Coastal Construction Control Line established pursuant to Section 161.053 be consistent with the entirety of Chapter 161.~~

~~Policy 5-1.1.10: Continued Participation in the National Flood Insurance Program Community Rating System.~~ ~~The Town shall continue to participate in the National Flood Insurance Program administered by the Federal Emergency Management Agency to achieve flood insurance premium discounts for their residents.~~

OBJECTIVE 5.1.2: Protect and prioritize the restoration of the Indian River Shores barrier island beach and dune systems from human-induced erosion while eliminating unsafe development in the coastal zone.

Policy 5.1.2.1: Prohibit any new development or redevelopment in the Coastal High Hazard Area (defined as the area below the elevation of the category 1 storm surge line, as established by a Sea, Lake, and Overland Surges from Hurricane (SLOSH) computerized storm surge model), in accordance with the LDC and Florida State Statutes.

Policy 5.1.2.2: Prohibit uses other than water-dependent uses and uses of ecological importance seaward of the Coastal Construction Control Line, in accordance with the LDC and Florida State Statutes.

Policy 5.1.2.3: Town funded public facilities shall not be built in the coastal high-hazard area, unless the facility is for public access or resource restoration.

Policy 5.1.2.4: Recommend that all new developments and any redevelopments in the Federal Emergency Management Agency (FEMA) flood zone V to be designed to the minimum standards that are set forth by the Florida Building Code (FBC) and/or American Society of Civil Engineers (ASCE), Flood Resistant Design and Construction, ASCE 24 to ensure structures are elevated above design flood elevations on reinforced pilings set to a suitable depth as to prevent structural damage in the event of storm surge or major erosion event.

Policy 5.1.2.5: Encourage the planting and maintenance of native vegetation on all dunes, especially along the dune banks, to maintain the existing dune crest and mitigate major erosion events.

Policy 5.1.2.6: Encourage that all new developments and redevelopments in the most sensitive FEMA flood zones be demolished and the land returned to its natural state in the event of at least fifty (50) percent damage occurring to the structure, as determined by the taxable value of the structure.

Policy 5.1.2.7: Continue to actively participate in the National Flood Insurance Program and work to achieve the highest flood insurance premium discounts possible for Town residents.

Policy 5.1.2.8: Be consistent with, or more stringent than, the flood-resistant construction requirements in the FBC and applicable flood plain management regulations set forth in Title 44 of the Code of Federal Regulations, Part 60.

Policy 5.1.2.9: Pursuant to Ord. 549, participate in the National Flood Insurance Program Community Rating System as administered by FEMA.

Policy 5.1.2.10: Consider the adoption and implementation of Adaptation Action Areas for joint planning coordination with Indian River County to maintain consistency with Indian River County and regional coastal planning and conservation efforts.

Policy 5.1.2.11: Development and redevelopment in coastal areas should account for potential future flooding risks and impacts from perils of flood, including sea level rise and storm surge, consistent with the Town's adopted Vulnerability Assessment and map series, including the Coastal High Hazard Area map.

Policy 5-1.2.1(2): Implementing Policies for Shoreline Land Uses. ~~The LDC shall stipulate provisions implementing shoreline land-use priorities, including criteria for regulating water-dependent and water-related shoreline land uses. The regulations shall address the following:~~

- ~~a. Water-Dependent Uses Seaward of CCCL. No uses other than certain water-dependent uses shall be located seaward of the coastal construction control line, such as beach and dune restoration and revegetation activities, beach renourishment, elevated walkways, dune crossovers, or other Town-approved beach and dune protection devices. All such development shall demonstrate compliance with best management principles and practices for respective activities and shall first receive permits from other public agencies having jurisdiction. Construction of groins or other structures, which interfere with littoral drift of sand shall be prohibited. Notwithstanding, the Town will permit a structure on a lot of record which the Florida DEP has first approved the construction of the structure (See Objective 5-1.5 and Policy 5-1.5.1).~~
- ~~b. Protecting Living Coastal Marine Life. The Town shall continue to enforce the LDC, which protects the sea turtle and other species with special status from the adverse impacts caused by development.
 - ~~1. The Town shall continue through the LDC to require protection of sea turtle nesting areas by prohibiting the disturbance of nests. Site and building plans for construction of single or multi-family dwellings, parking lots, dune walk-overs, or any other lighted structures within the direct line of sight of the beach shall incorporate the following:
 - ~~(a) Low-profile and low-density lighting will be used in parking lots and such lighting shall be positioned so that the source of light is not visible from the beach;~~
 - ~~(b) All lights on balconies will be shielded from the beach;~~
 - ~~(c) Floodlights on buildings or adjacent to the beach shall be positioned so that the source of light is not visible from the beach or, if required for safety, positioned in such a manner as to minimize impacts on turtles; and~~
 - ~~(d) Where lights are used, low-profile and low-intensity shielded lights will be used on dune walkovers.~~~~
 - ~~2. Any planned beach renourishment projects shall protect sea turtles nesting areas by ceasing development activity during the nesting season (generally March 1st through October 31st), or by collecting eggs from the nests, incubating them, and relocating the hatchlings.~~
 - ~~3. Sabellariid worm reefs shall not be destroyed by development activities.~~~~

4. ~~All applicants proposing development activities along the estuarine shoreline or within submerged areas shall be required to submit a site plan pursuant to site plan review regulations. Such site plan shall provide sufficient information describing marine life potentially impacted by proposed land uses as well as related construction activity. The Plan shall stipulate assurances that the proposed project shall not adversely impact marine life or water quality. For instance, water quality control techniques such as the use of weirs for purposes of managing turbidity may be required by the Town. In addition, the Town shall require surveys of existing condition, specifications of planned site improvements, and techniques to be used during construction as well as in operating and maintaining the land use in order to prevent damage to living marine organisms.~~
- c. ~~Water-Related Uses in Coastal Construction Control Line (CCCL). All water-related uses shall be built on uplands landward of the coastal construction control line, except as permitted by the DEP and/or other agencies having jurisdiction. Within the coastal construction zone all construction activities shall be predicated on plans compliant with applicable State and local building codes. Dredging and filling of wetlands or open water in order to accommodate water-related uses shall not be permitted unless the Town approves such activity pursuant to provisions of the Wetlands Protection Ordinance.~~
- d. ~~Estuarine Shoreline, Structures / Water-Dependent Uses. Within the wetlands estuarine shoreline, no development other than water dependent native shoreline revegetation programs, approved pervious or elevated accessways, and other uses approved by the Town pursuant to the wetlands protection ordinance shall be permitted. Hardening of the lagoon shoreline shall not be permitted unless the upland property is critically imperiled and the use of vegetation has failed to stabilize the shoreline. The design specifications of any shoreline hardening structure shall:
 1. ~~Comply with best management principles and practices and be accomplished by use of the least environmentally damaging methods and designs possible;~~
 2. ~~Avoid a vertical slope, which generates erosive tendencies, especially adjacent to protected shoreline properties. Pervious interlocking tile systems, filter mats, and similar stabilization methods shall be used in lieu of vertical walls whenever feasible;~~
 3. ~~Not be located waterward of the mean high water line except when it is shown to be in the public interest;~~
 4. ~~First be approved by other public agencies having jurisdiction; and~~
 5. ~~Incorporate a program of shoreline vegetation or revegetation in order to build, enhance, and stabilize a natural shoreline.~~~~
- e. ~~Land Use Restrictions in Submerged Lands and Wetlands. No nonwater dependent uses shall be permitted on submerged lands or wetlands. Development on uplands adjacent to wetlands shall preserve a buffer within wetland transition areas as defined in the wetlands protection ordinance. No commercial marine uses shall be permitted along the Indian River Lagoon, a State-designated Aquatic Preserve and critical manatee habitat. Similarly, no structures which constrict water circulation in the Lagoon shall be permitted.~~
- f. ~~Deck Facilities. Docks, including multi-slip docks, shall not be approved by the Town until the applicant demonstrates compliance with all applicable Federal and State laws and administrative rules governing Aquatic Preserves as well as applicable policies of Regional agencies. The Town shall require site plans for all docks. These plans must demonstrate to the Town's satisfaction that the facilities shall not adversely impact natural marine resources, including, but not limited to, seagrasses, estuarine waters, manatees, and other living marine organisms. The plans shall identify and include:
 1. ~~Location relative to all impacted natural marine resources;~~
 2. ~~Structural specifications;~~~~

3. ~~Description of all impacted natural marine resources, including their location and physical characteristics;~~
 4. ~~Multi-slip dock facilities shall be located so as to prevent or minimize dredging and shall not disturb seagrass beds or adjacent wetlands;~~
 5. ~~Availability and location of sewage pump-out facilities;~~
 6. ~~Hurricane contingency plans; and~~
 7. ~~Mitigation techniques proposed to compensate for any potential environmental disruption, except for docks for single family homes.~~
- g. ~~Estuarine Water Quality. In order to protect the water quality of the Aquatic Preserve, no new point source pollution shall be permitted to discharge into the lagoon or into ditches or canals flowing into the lagoon. In addition, in order to reduce nonpoint source pollutants, the Town's stormwater management regulations shall continue to require the following:~~
1. ~~Surface water management systems shall retain or detain with filtration, as a minimum, the first one and one-half (1 ½) inches of run-off.~~
 2. ~~A vegetated and functional littoral zone shall be established as part of the surface water management system of lakes occurring on all properties. Prior to construction of the surface water management system for any phase of a project, the developer shall prepare a design and management plan for the wetland / littoral zone that will be developed as part of these systems. The plan should:~~
 - (a) ~~Include typical cross-sections of the surface water management system showing the average water elevation and the 3-foot contour (i.e., below average elevation);~~
 - (b) ~~Specify how vegetation is to be established within this zone, including the extent, method, type, and timing of any planting to be provided;~~
 - (c) ~~Include the removal of all exotic vegetation and the planting of native hardwoods within the littoral zone;~~
 - (d) ~~Provide a description of any management procedures to be followed in order to ensure the continued viability and health of the littoral zone. The littoral zone as established should consist entirely of native vegetation and should be maintained permanently as part of the water management system. As a minimum, 10 square feet of vegetated littoral zone per linear foot of wetland shoreline should be established as part of the surface water management plan. Where the wetland abuts the Indian River, the littoral zone shall be established at the jurisdictional wetlands boundary and shall be a minimum average twenty-five feet in width and shall not be less than fifteen (15) feet at the narrowest point, provided that a minimum access may be allowed for approved water-dependent activity; and~~
 - (e) ~~Agricultural activities shall comply with policies herein stipulated in the Land Use Element.~~
 3. ~~The Town shall coordinate with the St. Johns River Water Management District in developing and adopting an ordinance regulating installation of underground storage tanks for petroleum products should any such tanks be allowed within the Town limits.~~
 4. ~~The Town shall coordinate with the St. Johns River Water Management District in reviewing issues and appropriate enforcement activities surrounding safe yield for water withdrawals from the surficial and intermediate aquifers near the Indian River Lagoon in order to avoid adverse impacts on the estuary.~~

h. ~~Signage Along Indian River Lagoon. The Town's LDC governing signage shall ensure that commercial signage shall not be visible from the Indian River unless the Town Council renders a finding that such signage is necessary to the public health and safety.~~

OBJECTIVE 5.1.3: PROTECT BEACH AND DUNE SYSTEM. The Town has adopted the LDC to include performance standards designed to protect the beach and dune system, establish construction standards mandating that no development shall be located seaward of the CCCL, excepting approved structures and beach and dune stabilizer devices, which are approved by the State Department of Environmental Protection.

~~**Policy 5.1.3.1: Enforce Development Restrictions Seaward of the CCCL.** The Town shall continue to forward all applications for construction seaward of the Coastal Construction Control Line (CCCL) to the Florida Department of Environmental Protection for jurisdictional action. Following such action, any construction permitted by the State shall comply with best management practices for respective activities and shall first receive permits from all other public agencies having jurisdiction.~~

~~**Policy 5.1.3.2: Beach / Dune Stabilization.** To protect dunes and beaches from erosion, a long term management plan has been established with the purpose of stabilizing and, as appropriate, restoring beaches / dunes, utilizing natural coast dynamics. Development and access along the dune system is restricted in order to prevent damage to beach and dune vegetation. New construction which threatens the stability of the beach and dune system is not permitted. Rigid shore protection structures are not permitted, except when used as part of a comprehensive plan for beach restoration and when non-structural alternatives are not acceptable. When beach renourishment projects are needed, the dune system should be restored, as necessary, utilizing natural, indigenous vegetation.~~

~~**Policy 5.1.3.3: Restrictions on Operation of Vehicles on Beaches.** The Town shall continue to enforce restrictions which prohibit any motorized vehicle upon or over the Town's incorporated portion of the beach adjacent to the Atlantic Ocean, excepting mechanical beach cleaning equipment, public safety and emergency vehicles, and vehicles permitted by the FDEP Beach cleaners shall be required to obtain a Coastal Construction Control Line (CCCL) permit for operations beyond the control line and have their method of operations and equipment approved by the Florida Department of Environmental Protection as part of the special conditions of the CCCL permit.~~

~~**Policy 5.1.3.4: Maintain and Re-establish the Beach and Dune System.** The Town shall continue to require beach and dune system restoration where development is proposed on the adjacent upland and breaches in the adjacent dune system are apparent.~~

OBJECTIVE 5.1.4: LIMITING PUBLIC SUBSIDY OF DEVELOPMENT IN THE COASTAL HIGH-HAZARD AREA. The Town has adopted the LDC, which includes performance standards designed to regulate construction seaward of the CCCL or the VE Zone, as defined in the FEMA Maps. The intent of this regulation shall be to allow only structures approved by the State DEP seaward of the CCCL and to ensure that any development within the VE Zone, as referenced on FEMA maps, comply with all applicable Federal, State, and local laws and ordinances. The Town shall not

~~expend resources that subsidize development permitted in coastal high hazard areas, except for restoration or enhancement of natural resources, as described above. These regulations may be reviewed and amended, as necessary.~~

~~**Policy 5-1.4.1: Public Investments in Coastal High-Hazard Area.** Town funded public facilities shall not be built in the coastal high hazard area, unless the facility is for public access or resource restoration.~~

~~**OBJECTIVE 5.1.5: AVOID PERMANENT POPULATION CONCENTRATIONS IN COASTAL HIGH-HAZARD AREAS.** The Town has adopted the LDC, which incorporates performance standards that regulate structures seaward of the CCCL or the VE Zones established on the FEMA maps. These regulations may be reviewed and amended, as necessary.~~

~~**Policy 5.1.5.1: Restrict Development in Coastal High-Hazard Areas.** The Town has incorporated appropriate policies in the LDC to direct population concentrations away from known or predicted coastal high hazard areas (i.e., areas located within the high velocity hurricane zone, as denoted on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Maps (FIRM) for the Town of Indian River Shores and shall include all property seaward of the Coastal Construction Control Line [CCCL]). The following provisions shall restrict development within the coastal high hazard area:~~

- ~~a. Consistent with Coastal Management Element policy 5-1.2.1(a), no uses other than stipulated water dependent structures or other specific structures approved by the FDEP and / or other agencies having jurisdiction shall be allowed in the coastal high hazard area, and the location of structures is in prohibited areas unless approved by the FDEP and / or other agency having jurisdiction. Similarly, sewage treatment plants, industrial holding ponds and other potentially polluting facilities within the coastal high hazard area are prohibited.~~
- ~~b. Require non-residential construction within the hurricane flood zone to meet storm and flood proofing standards exceeding those required for a 100-year storm.~~

~~**Policy 5.1.3.1:** Encourage public beach access methods that minimize traffic impact and help protect dunes from unnecessary contact.~~

~~**Policy 5.1.3.2:** Maintain public beach access points at a level of service standard of one-half (1/2) acre per one thousand (1,000) population.~~

~~**Policy 5.1.3.3:** Current public beach access points will be maintained, and an inventory of access points will be updated as conditions change:~~

- ~~a. Beachcomber Lane Access
 - ~~i. This access point is owned by the Town and is serviced by the adjacent parking facilities at Town Hall together with a dune walkover.~~~~
- ~~b. Tracking Station
 - ~~i. Three access points are located at the north boundary of John's Island at Turtle Trail.~~~~
- ~~c. Marbrisa Complex at Seagrape Beach
 - ~~i. This access point is located north of the Marbrisa complex at Seagrape Beach and includes dune walkover structures and adequate onsite parking.~~~~

d. Surfs Edge and Pebble Beach Villas

- i. This access point is located between Surfs Edge and Pebble Beach villas and contributes additional access to the Tracking Station beach. No parking facilities are available at this beach access point.

e. Four additional beach access points are located within the Town's corporate limits on land owned by Indian River County.

Policy 5.1.3.4: Continue to encourage public access to the shoreline, as well as the necessary support facilities and services, such as boardwalks, beach/dune walkovers, parking lots, restroom, and refuse collection for all publicly funded projects that improve, change, or in some way support shorefront development.

Policy 5.1.3.5: Prioritize public shoreline access for shoreline developments under the following criteria:

- a. Non-structural beach or shoreline protection uses, such as dune restoration and vegetation, beach renourishment, and native shoreline revegetation programs;
- b. Structure beach protection measures, including elevated walkways, dune crossovers, or other Town approved shoreline protection devices (excluding bulkheading or shoreline armoring);
- c. Approved water-dependent estuarine shoreline uses, such as previous accessways, small dock facilities and residential multi-slip dock facilities without commercial fuel tanks or other commercial services; and
- d. Approved related or enhanced uses, such as utilities requiring access to water, water enhanced recreation, and other water related uses ~~consistent with the LDC. Lowest priority shall be given to non-water dependent uses.~~

~~These facilities shall demonstrate during site plan review compliance with performance standards stipulated herein in Policy 6-1.2.1(2) in order to prevent adverse impacts to natural features.~~

~~The second priority shall be directed toward water related uses such as:~~

Developments which fall under the following criteria receive secondary priority:

- a. Parking facilities for beach and shoreline access;
- b. Residential structures, which comply with the building code for structure within the coastal building zone; and
- c. Beach club or recreational facilities, which comply with applicable codes.

~~This objective shall be directed as cited below.~~

Policy 5.1.3.6: ~~Enforce Development Restrictions Seaward of the CCCL. The Town shall Pursuant to Ord. 549, C~~continue to forward all applications for construction seaward of the Coastal Construction Control Line (CCCL) to the Florida Department of Environmental Protection (FDEP) for jurisdictional action.

Policy 5.1.3.7: ~~Following such action recommendations made by the reviewing agencies of CCCL, any construction permitted by the State reviewing agencies shall must comply with best management practices for respective activities and shall first receive permits from all other public agencies having jurisdiction.~~

Policy 5.1.3.8: ~~The Town shall continue to~~ Enforce restrictions which prohibit any motorized vehicle upon or over the Town's incorporated portion of the beach adjacent to the Atlantic Ocean, excepting mechanical beach cleaning equipment, public safety and emergency vehicles, and vehicles permitted by the FDEP.

~~Beach cleaners shall be required to obtain a Coastal Construction Control Line (CCCL) permit for operations beyond the control line and have their method of operations and equipment approved by the Florida Department of Environmental Protection as part of the special conditions of the CCCL permit.~~

OBJECTIVE 5.1.4: Ensure a hurricane evacuation time of less than or equal to twelve (12) hours in the event of a mandatory full evacuation of the Town.

Policy 5.1.4.1: ~~In order to prevent unnecessary evacuees crowding roads and shelters, the Town shall Coordinate with the Indian River County in disseminating information concerning the need of residents to evacuate the barrier island at various hurricane threat levels. The Town shall coordinate with the County and the Indian River County Emergency Management District in assisting the implementation of the County's campaign to educate the general citizenry regarding emergency preparedness plans, including specific citizen directives.~~

Policy 5.1.4.2: Coordinate with Indian River County Emergency Management District in assisting the implementation of Indian River County's campaign to educate the general citizenry regarding emergency preparedness plans, including specific citizen directives.

Policy 5.1.4.3: ~~The Town shall Coordinate with the Indian River County in adopting the Indian River County Local Mitigation Strategy (LMS) every five (5) years. Updates of the Plan shall identify specific actions that may be implemented to reduce exposure to natural hazards.~~

OBJECTIVE 5.1.5: Hasten post-disaster response and redevelopment in coordination with Indian River County.

Policy 5.1.5.1: ~~The Town shall continue to Coordinate with the Indian River County in modifying the Comprehensive Emergency Management Plan in order to establish compliance with this objective. The update of the Plan shall include strategies for expedite post-disaster recovery operations.~~

Policy 5.1.5.2: ~~Following a hurricane event and prior to reentry of evacuees into the evacuated area, the Town Council shall meet~~ Engage in public meetings following a natural or human-caused disaster to hear preliminary damage assessments and to appoint a Recovery Task Force comprised of the Town Manager, the head of the Department of Safety, the Building Official and others, as determined by the Town Council Manager, The Recovery Task Force shall meet to consider the following issues:

- a. Establishing a temporary moratorium on building activity;
- b. Reviewing and deciding upon emergency building permits;
- c. Coordinating with State and Federal officials to prepare disaster assistance applications;
- d. Analyzing and recommending to the Town Council hazard mitigation options, including reconstruction or relocation of damaged public facilities;
- e. Developing a redevelopment plan, including limitations on redevelopment in areas of repeated damage; and
- f. Recommending amendments to the Comprehensive Emergency Management Plan and other appropriate policies and procedures.

Policy 5.1.5.3: In planning post-disaster redevelopment activities, consider certain factors in order of appropriateness for emergency response, clean-up, and repair operations to be considered in order to protect the public health and safety shall include; specifically:

- a. Repairs to potable water, wastewater, and power facilities;
- b. Removal of debris; and
- c. Minimal repairs to make structures habitable.

~~These considerations shall receive first priority in determining the appropriateness of emergency building permits. Long term redevelopment activities shall be postponed until the Recovery Task Force has coordinated immediate repair and clean-up operations.~~

Policy 5.1.5.4: ~~The Recovery Task Force shall~~ Propose any needed Comprehensive Plan amendments which reflect the recommendations contained in any inter-agency hazard mitigation reports or other reports prepared pursuant to the Federal Emergency Management Act through the Recovery Task Force following a natural or human-caused disaster.

Policy 5.1.5.5: If structures receiving storm damage in excess of fifty (50%) percent of their appraised value shall be rebuilt, such structures ~~shall~~ must be reconstructed and rehabilitated to meet all current laws and ordinances, including those enacted since construction of the subject structure.

Policy 5.1.5.6: ~~The Planning, Zoning and Variance Board shall be~~ The Town's designated Public Facilities Review Committee, charged by the Town Council with the responsibility for receiving available alternatives for managing damaged public facilities, following a ~~hurricane~~ natural or human-caused disaster event, is the Planning, Zoning, and Variance Board. ~~The Committee shall evaluate future options for such facilities, including, but not limited to, abandonment, repair in place, relocation, and reconstruction with structural modifications. The Committee shall consider these options based on the following considerations:~~

- ~~a. Cost to construct;~~
- ~~b. Cost to maintain;~~
- ~~c. Recurring damages;~~
- ~~d. Impacts on land use;~~
- ~~e. Impacts on the environment; and~~
- ~~f. Other relevant factors.~~

Policy 5.1.5.7: The Planning, Zoning, and Variance Board is responsible for evaluating future options for such facilities, including, but not limited to, abandonment, repair in place, relocation, and reconstruction with structural modifications, to be considered based on the following considerations:

- a. Cost to construct;
- b. Cost to maintain;
- c. Recurring damages;
- d. Impacts on land use;
- e. Impacts on the environment; and
- f. Other relevant factors.

Policy 5.1.5.8: ~~The Town shall~~ Maintain a reserve fund in order to cover the ~~Town~~ required match for disaster assistance grants.

OBJECTIVE 5.1.6: Preserve historically significant archaeological and cultural resources in the coastal zone.

Policy 5.1.6.1: ~~The Town shall~~ Coordinate with the State Division of Historical Resources and the Indian River County Historical Society in continuing to identify, protect, analyze, and explain the Town's historical, archaeological, and cultural resources to implement mitigation and protection measures. Such efforts shall include ~~determination of their worth and vulnerability, as well as determination of the specific applicable preservation management policies~~. Currently, the Town has identified five (5) sites of historic or archaeological significance, including The Nunn Shipwreck; a second shipwreck site south of the Nunn site; the John's Island cemetery; a midden site north of the John's Island cemetery; and the historic "Jungle Trail" corridor, a scenic road extending from the intersection of Old Winter Beach Road and SR A1A westward along Old Winter Beach Road to the Indian River where the Jungle Trail bends northward along the eastern shore of the Indian River, crossing CR10 and from CR510 north to SR A1A.

Policy 5.1.6.2: ~~The LDC shall include~~ Enforce necessary precautions necessary to prevent the following adverse impacts to historic, ~~or archaeological, and cultural~~ sites of significance:

- a. Destruction or alteration of all or part of such site;
- b. Isolation from, or alteration of, the surrounding environment;
- c. Introduction of visual, audible, or atmospheric elements that are out of character with a property or alter its setting;
- d. Transfer or sale of the site of significance without adequate conditions or restrictions regarding preservation, maintenance, use, or re-use;
- e. Vegetation removal shall not be permitted on historic or archaeological site unless the vegetation to be removed is a part of the duly authorized scientific excavation, or is part of an approved development plan; and
- f. Other forms of neglect resulting in resource deterioration.

~~Policy 5-1.6.2: Land Use Options Within the Category III Hurricane Vulnerability Zone.~~ ~~The Town's Future Land Use Plan and land development regulations shall continue to regulate construction of structures seaward of the Coastal Construction Control Line (CCCL) or the high velocity hurricane zone (within the Town of Indian River Shores the high velocity storm surge area is seaward of the CCCL).~~

~~Policy 5-1.6.3: Future Coordination with the County in Emergency Preparedness.~~ ~~In order to provide for safe and efficient evacuation of the residents of the Town of Indian River Shores and other communities on the barrier island in the event of a hurricane, the Town shall continue to coordinate with Indian River County in annual updates of the County Comprehensive Emergency Management Plan. This update shall enable the County and incorporated municipalities to plan for future population densities, which will neither adversely impact the efficiency of the evacuation plan nor increase evacuation times.~~

~~In order to ensure that future developments are consistent with the Comprehensive Emergency Management Plan and amendments thereto, the Town's LDC shall mandate that new development maintain a density threshold, which is consistent with the Comprehensive Emergency Management Plan. This stipulation ensures that future density thresholds may be accommodated without adversely impacting hurricane evacuation time. The Town shall also coordinate with the County in updating hurricane evacuation shelter assignments, as well as other policy formulation surrounding land use and emergency preparedness.~~

OBJECTIVE 5-1.7: HAZARD MITIGATION AND COASTAL HIGH HAZARD AREAS. The Town has adopted the LDC, which include performance standards that no development shall be located seaward of the CCCL, excepting approved structures and beach and dune stabilizer devices, which are approved by the State DEP. The Town shall carry out development activities in a manner, which minimizes the danger to life and property occasioned by hurricane events. These regulations may be reviewed and amended, as necessary.

Policy 5-1.7.1: The Coastal High Hazard Area Defined. The coastal high hazard area is the area below the elevation of the category 1 storm surge line as established by Sea, Lake, and Overland Surges from Hurricanes (SLOSH) computerized storm surge model. The Town shall enforce development restrictions identified in the Comprehensive Plan herein.

The Town has not identified any additional areas other than those identified above, which are predicted to experience destruction or severe damage, from storm surge, waves, erosion or other impacts of storm driven waters. The Town shall continue to enforce existing building codes to mitigate for wind and high velocity water impacts consistent with this element and Florida Statutes.

Policy 5-1.8.1: Recovery Operations. The Town shall continue to coordinate with the County in modifying the Comprehensive Emergency Management Plan in order to establish compliance with this objective. The update of the Plan shall include strategies for post-disaster recovery operations.

Policy 5-1.8.6: Damaged Structures Seaward of the CCCL. If any structures located seaward of the Coastal Construction Control Line (CCCL) in the future suffer repeated damage to pilings, foundations, or load bearing walls, such structures shall only be rebuilt if appropriate permits are obtained from State agencies having jurisdiction.

OBJECTIVES 5-1.9: PUBLIC BEACH ACCESS. The Town shall maintain its public beach access. This access is sufficient to serve the projected residential population beyond the year 2035.

Policy 5-1.9.1: Standard for Public Beach Access. The Town shall continue to implement the standard for public beach access of one-half (1/2) acre per one thousand (1,000) population.

Policy 5-1.9.2: Provide Public Beach Access Facilities. The Town shall continue to support its beach access points:

- a. Beachcomber Lane access. This access point is owned by the Town and is serviced by the adjacent parking facilities at Town Hall together with a dune walkover.
- b. Four additional beach access points are located within the Town's corporate limits on land owned by Indian River County. Three access points are located at: Tracking Station; at the north boundary of John's Island at Turtle Trail; and north of the Marbrisa complex at Seagrape Beach include dune walkover structures and have adequate onsite parking. The newest beach access point is located between SurfsEdge and Pebble Beach Villas, adding an additional connection and dune crossover to Tracking Station beach. While this access point does not have parking of its own, it offers great connections to the multi-modal path on A1A.

Policy 5-1.9.3: Public Access to Renourished Beaches. The Town shall continue to coordinate with the County to ensure beach access points.

Policy 5-1.9.5: Consideration of Scenic View in Site Plans. The LDC includes stipulations requiring site plans for oceanfront sites to include design measures which provide, enhance, and preserve scenic views of the water to the extent feasible. The site plan and building criteria shall give priority to minimizing impact on natural coastal resources.

OBJECTIVE 5-1.10: HISTORIC RESOURCES. The Town shall ensure that there shall be no loss of historic resources on Town-owned property and the LDC shall ensure that historic resources on private property shall be protected, preserved, or re-used in a manner sensitive to the historic properties of the site and / or structure.

Policy 5-1.10.3: Alternatives to Preserving Historic or Archaeological Sites. As an alternative to preserving historic or archaeological sites, the owner of impacted lands may allow excavation of the site by the Division of Historic Resources or another State approved entity prior to development. Should a site be scientifically excavated in this manner, development may proceed following completion of the scientific excavation by the approved entity.

Policy 5-1.11.1: Beach Renourishment Standards. Any proposed beach renourishment project in the future shall meet the following level of service standards:

- a. Beach fill must include a protective berm of sufficient height to prevent flooding by a ten-year storm event; and
- b. Beach renourishment projects shall have a design life of at least five (5) years.

Policy 5-1.11.2: Regulation Impacts on a Renourished Beach. If a public sponsored beach renourishment program is implemented within the Town in the future, all adjacent development thereafter proposed shall submit site plans demonstrating that the proposed development will not adversely impact the renourished beach or reduce the level of service provided by the renourished beach.

Policy 5-1.11.3: Ensure Available Infrastructure and Coordinate Timing and Staging of Public Facilities with Private Development. The Town has adopted the LDC codes which ensures that future development is directed only to those areas where public facilities, which meet the Town's adopted level of service standards are available concurrent with the impacts of the development. In order to ensure appropriate timing and staging, no occupancy permit shall be granted until infrastructure and services required by respective developments are in place and available for use by the private development.

The infrastructure shall be designed in a manner consistent with the existing and projected future demands generated by development projected in the future land use element. The infrastructure shall also be consistent with applicable local, Regional and State Coastal Resource Protection policies.

OBJECTIVE 5-1.12: INTERGOVERNMENTAL COORDINATION WITHIN THE COASTAL AREA.

Establish an intergovernmental coordination mechanism in order to manage coastal resources within the jurisdiction of more than one local government or public agency and assist in implementing appropriate portions of existing multijurisdictional resource planning and management plans addressing the coastal area, including the Indian River Lagoon and other natural systems within the barrier island.

Policy 5-1.12.1: Implementing Policies for Intergovernmental Coordination within the Coastal Area. The Town shall coordinate with Indian River County, the City of Vero Beach, the Indian River County

Mosquito Control District, and appropriate Regional, State, and Federal agencies in managing coastal resources. Management activities shall include, but are not limited to, the following:

- a. ~~The Town shall coordinate the following coastal resource management issues with Indian River County:~~
 1. ~~Identify beach renourishment concepts, program alternatives, and issues surrounding potential application of a specific renourishment program to areas within the Town;~~
 2. ~~Participate in County forums and technical reviews concerning emergency preparedness and hurricane evacuation issues, and the update of the Comprehensive Emergency Management Plan;~~
 3. ~~Participate in technical review and in formulation of policies concerning the SR A1A corridor, including stormwater management policies within the corridor. This activity shall also be coordinated with the State DOT;~~
 4. ~~Coordinate public beach access issues shall be coordinated with Indian River County, including issues surrounding maintenance and improvements;~~
 5. ~~Coordinate surrounding conservation of spoil islands and management of mosquito impoundment areas with Indian River County and the Indian River County Mosquito Control District, as appropriate. Issues shall include technical assessment of the proposed County management plan for mosquito impoundments, as well as potential plans impacting spoil islands. The Town shall coordinate possible use of mosquito impoundment areas as sites for stormwater detention/retention;~~
 6. ~~The Town shall coordinate resource management within the Indian River Lagoon with Indian River County, as well as the Marine Resources Council.~~
- b. ~~Major issues to be coordinated with the City of Vero Beach include:~~
 1. ~~Beach renourishment issues identified in Policy 12.1(a)(i) above.~~
 2. ~~The Town shall coordinate technical and policy aspects governing the water and sewer franchise agreement with the City of Vero Beach, including issues surrounding the design, capacity, location, timing and phasing, and construction specifications. The Town shall coordinate with the City of Vero Beach in order to ensure that all future development shall be timed and staged to ensure that requisite infrastructure and services are available to respective developments concurrent with the impacts of the development.~~
 3. ~~The Town shall coordinate with technical staff within the DEP, and SJRWMD in order to ensure implementation of sound principles and practices of coastal resource management during the development review process, as well as in the formulation of policies impacting coastal resource management; and~~
 4. ~~The Town shall coordinate with the SJRWMD, as well as other appropriate State agencies in matters surrounding stormwater management, drainage, water quality and quantity, and consumptive use permitting.~~
- c. ~~The Town shall coordinate with the Treasure Coast Regional Planning Council (TCRPC) in preparing the Comprehensive Plan and amendments thereto in order to ensure consistency with the Treasure Coast Regional Planning Council Comprehensive Plan. In addition, the Town shall coordinate other planning issues of Regional significance with the TCRPC.~~

The Town shall forward copies of development proposals within the coastal area to public agencies having jurisdiction in the management of potentially impacted natural resources.

Policy 5-1.12.2: Indian River Lagoon Basin Management Action Plan (IRLBMAP) and the Indian River Lagoon National Estuary Program (IRLNEP). The Town shall carry out Land Use Element

Objectives to ensure that resource planning and management activities shall be coordinated with the IRLBMAP and IRLNEP.

~~OBJECTIVE 5-1.13: CONTINUING EVALUATION OF COASTAL MANAGEMENT ELEMENT~~

~~EFFECTIVENESS.~~ The Town shall use the following policies as criteria in evaluating the effectiveness of the Coastal Management Element.

~~Policy 5-1.13.1: Review the Impact of Changing Conditions on Coastal Management Policy.~~ The Town shall monitor and evaluate significant changes in the characteristics of natural coastal resources. Policy implications of such changes shall be examined and corrective measures shall be pursued. Coastal management policies shall be refined as needed in order to remain responsive to evolving problems and issues.

~~Policy 5-1.13.2: Schedule, Budget, and Implement Programmed Activities.~~ The timely scheduling, programming, budgeting, and implementation of programmed coastal management activities identified in this Element shall be evidence of the Town's effectiveness in carrying out a systematic program for implementing coastal management goals, objectives, and policies.

~~Policies 5-1.13.3: Coordinate with Public and Private Sectors.~~ While continually implementing and evaluating the Coastal Management Elements, the Town shall maintain a process of intergovernmental coordination as well as coordination with private sector groups interested in coastal management policy and programs. The effectiveness of this approach shall be evaluated by the success of coordination mechanisms in resolving coastal management problems and issues.

CONSERVATION ELEMENT

Purpose

~~This section stipulates and implements goals, objectives, and policies for the Conservation Element pursuant to 163.3177(6)(d), F.S.~~

The purpose of the Conservation Element is to provide for the maintenance, preservation, use, and protection of natural resources in the Town. These resources include the air, water, groundwater recharge areas, wetlands, water wells, estuarine marshes, soils, beaches, shores, flood plains, rivers, bays, lakes, harbors, forests, fisheries and wildlife, marine habitat, minerals, and other natural and environmental resources, including factors that affect energy conservation. As an element of the Town Comprehensive Plan required by Section 163.3177(6)(d), Florida Statutes, the Conservation Element endeavors to establish an inventory of the Town's living and non-living natural resources and conservation efforts to ensure that the Town acts in good stewardship of the Indian River Shores barrier island.

GOAL 6.1: Conserve, protect, and appropriately manage the Town's natural resources in order to enhance the quality of natural systems within the coastal barrier island community.

OBJECTIVE 6.1.1: Maintain a healthy air quality while minimizing the Town's adverse impacts to the overall regional air quality. The Town has amended the LDC that includes regulations to minimize erosion and airborne dust and shall review/implement new regulations as needed.

Policy 6.1.1.1: ~~The LDC includes performance standards which combat~~ Minimize erosion and generation of fugitive dust particles. ~~The regulations implemented shall require~~ by requiring that measures be taken on building sites or cleared areas ensure that exposed, destabilized, or other altered soil is expeditiously covered with an acceptable erosion control material.

Policy 6.1.1.2: ~~The Town shall continue to~~ Protect against loss of air quality by maintaining land use controls which promote only activities compatible with existing land uses and natural systems and prohibit activities which generate air pollutants and other adverse impacts on the environmentally fragile coastal ecosystem.

Policy 6.1.1.3: Implement incentives and public notices which discourage the use of two-stroke engines in construction, landscaping, boating, and other areas to reduce air and noise pollution. ~~Since 2-stroke engines are a major contributing factor to both air pollution and noise pollution, the Town shall work with the Public and Private Sectors to encourage all residents and contractors to limit the use of 2-stroke engines in the following areas:~~

- Construction
- Landscaping
- Boating

Policy 6.1.1.4: Encourage and facilitate a transition from dependence on internal combustion powered private automobiles to electrically powered automobiles to reduce air and noise pollution. ~~The Town shall continue to ensure new development is served by an adequate supply of potable water. . The LDC includes administrative procedures and a site plan review process, which mandate technical review of public facility plans during site plan review.~~

OBJECTIVE 6.1.2: Conserve water quantity while promoting best practices, engineering solutions, and principles which protect water quality. The Town shall continue to ensure new development is served by an adequate supply of potable water. The LDC includes administrative procedures and a site plan review process, which mandate technical review of public facility plans during site plan review.

Policy 6-1.2.1: Water Quality, Surface Water Management and Land Use. The LDC incorporates the following performance standards in order to protect the quality of the Town's water resources:

- a. ~~Surface water management systems shall be designed and constructed to retain or detain with filtration.~~
- b. ~~A vegetated and functional littoral zone shall be established as part of the surface water management system of lakes occurring on all property. Prior to construction of the surface water management system for any phase of a project, the developer shall prepare a design and management plan for the wetland/littoral zone that shall be developed as part of these systems. The plan should:~~
 1. ~~Include typical cross sections of the surface water management system showing the average water elevation and the 3 foot contour (i.e., below average elevation);~~
 2. ~~Specify how vegetation is to be established within this zone, including the extent, method, type, and timing of any planting to be provided; and~~
 3. ~~Provide a description of any management procedures to be followed in order to ensure the continued viability and health of the littoral zone. The littoral zone as established should consist entirely of native vegetation and should be maintained permanently as part of the water management system. As a minimum, 10 square feet of vegetated littoral zone per linear foot of lake shoreline should be established as part of the surface water management system.~~
- c. ~~Class II Waters located north of the North Main Relief Canal shall be protected by the following provisions in the Town's LDC. Class II Waters are defined by DEP as areas where shellfish propagation and harvesting generally occur.~~
 1. ~~Dredging activities should be limited to approved maintenance dredging and should minimize adverse impacts on shellfish propagation or harvesting.~~
 2. ~~Ensure good water quality by coordinating with the DEP and the SJRWMD in monitoring the quality of stormwater run-off and all discharge processes where these agencies have jurisdiction. The Town shall notify the appropriate agency with jurisdiction as potential issues or problems are identified by the Town. The Town's amended LDC shall provide performance criteria designed to ensure that new development provides effective and adequate stormwater management improvements concurrent with the impacts of new development.~~
 3. ~~Limit the use of Class II waters to water dependent activities that are not contrary to the public interest and satisfy a community need.~~
 4. ~~Limit modification of grassbeds only to those cases involving overriding public interest and approved by the State.~~
 5. ~~Where modification of grassbeds is permitted the Town shall ensure that:~~
 - (a) ~~A determination of overriding public interest has been demonstrated prior to modification of grassbeds;~~
 - (b) ~~Project run-off and nutrient introduction shall be controlled to prevent an increase in water turbidity;~~

- ~~(c) Projects damaging grassbeds during construction shall incorporate mitigative techniques which re-establish benthic conditions favorable to natural regeneration; and~~
- ~~(d) Special attention shall be given to stipulations cited in (a) through (c) above during the development review process. The Town shall coordinate closely with State and Federal agencies during the permitting processes to ensure that the intent of these policies is carried out.~~

Policy 6.1.2.1: Require surface water management systems to be designed and constructed to retain or detain water with filtration consistent with the adopted Town stormwater and drainage level of service standards.

Policy 6.1.2.2: Pursuant to Ord. 549, require existing and proposed developments to establish and maintain a vegetated and functional littoral zone as part of the surface water management system for any lakes or ponds occurring on all properties, as consistent with Florida Department of Environmental Protection (FDEP) standards, which satisfies the following requirements:

- a. Typical cross sections of the surface water management system showing the average water elevation and the three-foot contour (i.e., below average elevation);
- b. Specify how vegetation is to be established within this zone, including the extent, method, type, and timing of any planting to be provided;
- c. A list of the vegetation species to be included in the littoral zone, which must be entirely native to the region and maintained as a permanent part of the water management system;
- d. Provide a description of any management procedures to be followed in order to ensure the continued viability and health of the littoral zone; and
- e. A minimum of ten (10) square feet of vegetated littoral zone per linear foot of lake shoreline established as part of the surface water management system.

Policy 6.1.2.3: Class II Waters, as defined by FDEP as areas where shellfish propagation and harvesting generally occur, located north of the North Main Relief Canal, are protected by the following provisions:

- a. Dredging activities are restricted to approved maintenance dredging and must minimize adverse impacts on shellfish propagation or harvesting.
- b. Coordinate with FDEP and St. Johns River Water Management District in monitoring the quality of stormwater run-off and all discharge processes where these agencies have jurisdiction.
- c. Notify the appropriate agency with jurisdiction as potential issues or problems are identified by the Town in accordance with performance criteria established in the Town Land Development Regulations.
- d. Limit the use of Class II Waters to water dependent activities that are not contrary to the public interest and satisfy a community need.
- e. Limit modification of seagrass beds only to those cases involving overriding public interest and approved by the State.
- f. Where modification of seagrass beds is permitted, ensure that:
 - i. A determination of overriding public interest has been demonstrated prior to modification of seagrass beds;
 - ii. Project run-off and nutrient introduction shall be controlled to prevent an increase in water turbidity;
 - iii. Projects damaging seagrass beds during construction shall incorporate mitigative techniques which re-establish benthic conditions favorable to natural regeneration; and

- iv. Special attention shall be given to stipulations cited in (a) through (c) above during the development review process. The Town shall coordinate closely with State and Federal agencies during the permitting processes to ensure that the intent of these policies is carried out.

Policy 6.1.2.4: ~~The LDC includes stipulations requiring that agricultural activities shall~~ Require for all agricultural activities that such uses:

- a. ~~Not be conducted adjacent to existing waterways and surface water management activities shall~~ comply with all applicable policies of the ~~DEP FDEP, SJRWMD~~ St. Johns River Water Management District, and other reviewing agencies having appropriate with jurisdiction as well as State laws, including administrative rules governing the Indian River Lagoon's Aquatic Preserve. ~~Such activities shall not threaten the water quality of the Indian River Lagoon;~~
- b. Such activities do not threaten or contribute any adverse impacts to the water quality of the Indian River Lagoon:
 - i. Maintain natural drainage patterns;
 - ii. Promote the use of surface water supplies for irrigation purposes;
 - iii. Prohibit the expansion of agricultural activities into wetland areas; and
 - iv. Use State regulations, as well as best management principles and practices, in order to reduce pesticide and fertilizer run-off, prevent soil erosion, and preserve water quality.

Policy 6.1.2.5: Pursuant to Ord. 570, ~~T~~the Town shall continue to work towards its ultimate goal of 400% one hundred (100) percent use of sanitary sewer by July 1, 2030 in the following manner:

- a. ~~The Town shall Meet as needed with the utility provider~~ City of Vero Beach to ensure that all required regulations are being followed;
- b. Require all new residential subdivisions, as well as multi-family and non-residential development within the established service area of the major public wastewater system, shall be required to connect to the public wastewater system pursuant to the Town's Code of Ordinances;
- c. ~~In areas such cases where it is infeasible for developments cannot to be connected to the public sewer, package sewage treatment plant systems or other nitrogen reducing onsite sewage treatment and disposal systems (OSTDS) will be deemed~~ are acceptable only as interim measures, and only providing such facilities are designed to be in compliance with the EPA's Federal Environmental Protection Agency Clean Water Act (CWA) and the provisions of the Indian River Lagoon Basin Management Action Plan; and
- d. ~~Whenever replacement septic systems are installed in established neighborhoods prior to the availability of central sewer, where the sewerage is not available, the new septic system being installed will be a nitrogen reducing step system that meets or exceeds guidelines as established in the Central Indian River Lagoon Basin Management Action Plan (CIRL-BMAP). Property owners will be required to connect to the central sewer system by July 1, 2030 if central sewer is available. Map 6-1 is provided to illustrate the last remaining areas not serviced by sewer lines. This data is based upon the Utility Providers data from 2013, and it should be noted that a few of the locations have upgraded recently to nitrogen reducing systems in compliance with this section.~~

Policy 6.1.2.6: Pursuant to Ord. 549, ~~In order T~~to achieve a reduction in the current rates of water consumption, the Town of Indian River Shores' LDC shall incorporate implement the following performance standards:

- a. ~~The Town shall Use reclaimed water for irrigation as specified in the analysis of potable water. Where non-potable alternative sources of irrigation water are available, potable water supplies may not be used to meet irrigation needs.;~~
- b. Where non-potable alternative sources of irrigation water are available, prohibit the use of potable water to meet irrigation needs;
- c. ~~In compliance with Florida Building Code, the Town shall~~ Require the use of water saving plumbing fixtures on all new development;
- d. ~~In order~~ To reduce demand for irrigation water (which in turn often places greater demand upon potable water sources), at least thirty (30%) percent of all landscaping material obtained from off-site sources for use on any site should be native plant material adapted to soil and climatic conditions existing on the subject site; and Further, at least fifty (50%) percent of all trees used in landscaping shall be native species adapted to soil and climatic conditions existing on-site in order to lessen water demand. The adopted level of service, including the quantified reduction in potable water consumption is stated in Policy 4-2.1c.2.
- e. Require at least fifty (50%) percent of all trees used in landscaping to be native species adapted to soil and climatic conditions existing on-site in order to lessen water demand.

Policy 6.1.2.7: ~~The Town shall~~ Coordinate with the St. Johns River Water Management District (SJRWMD) in implementing emergency water conservation measures based on the SJRWMD Water Management District's plans for management of the region's water resources.

Policy 6-1.2.4: ~~Preserve and Enhance Lagoon and Canal Shoreline. In order to stabilize the shoreline of canals and the shoreline of the Indian River Lagoon which are susceptible to erosion, the LDC shall require that all new development preserve shoreline native vegetation and revegetate areas of the shoreline which demonstrate erosive tendencies.~~

OBJECTIVE 6.1.3: Maintain the natural functions of the 100-year floodplain to protect the water sequestering functions of the surficial aquifer while minimizing salinity intrusion into the Floridan Aquifer. The Town has implemented development regulations which include performance criteria designed to protect the natural functions of the 100-year floodplain in order to protect and maintain its flood carrying and flood storage capacity. These regulations shall be reviewed and updated as needed.

Policy 6-1.3.2: Purchase of Floodplain. ~~The Town shall identify and recommend to the State and the St. Johns River Water Management District the purchase of floodplains, where applicable.~~

Policy 6.1.3.1: ~~Although the Town does not have prime deep aquifer recharge areas which have been identified by the St. Johns River Water Management District, the Town has abundant surficial aquifer recharge areas. Requirements have been incorporated into the Town's LDC which~~ Require retention of open space for all development in order to preserve the quality and quantity of water resources within the surficial aquifer.

Policy 6.1.3.2: ~~In order to protect the quality and quantity of deep aquifer water resources, the Town shall~~ Coordinate with the St. Johns River Water Management District and ~~other applicable regulatory~~ reviewing agencies in identifying free flowing deep aquifer wells and in requiring corrective measures, including capping, plugging, or installing regulatory devices which control the discharge of water from the deep aquifer.

Policy 6.1.3.3: ~~The Town shall continue to Implement and enforce its flood damage prevention regulations within the Town of Indian River Shore’s Code of Ordinances (as currently exists and as may hereinafter be amended) Land Development Regulations. New development encroaching into the floodplain shall incorporate flood protection measures sufficient to protect against the 100-year flood. The Town’s Flood Prevention Ordinance shall maintain consistency with program policies of the National Flood Insurance Program. The Town shall monitor new cost effective programs for minimizing flood damage and participate in the incentives, where applicable, to reduce or eliminate repetitive losses from floods. Such programs may include modification in construction setback requirements or other site design techniques, as well as upgraded building and construction techniques.~~

Policy 6.1.3.4: New development encroaching into the floodplain must incorporate flood protection measures sufficient to protect against the 100-year flood.

Policy 6.1.3.5: Maintain consistency with program policies of the National Flood Insurance Program through the Town Flood Prevention Ordinance.

Policy 6.1.3.6: Monitor new cost effective programs for minimizing flood damage and participate in the incentives, where applicable, to reduce or eliminate repetitive losses from floods.

Policy 6.1.3.7: ~~The Town shall Identify and recommend to the State and the St. Johns River Water Management District and other applicable state and regional authorities the purchase of lands in environmentally sensitive floodplains, where applicable for conservation and land stewardship initiatives.~~

OBJECTIVE 6.1.4: Protect the living and non-living natural resources and significant ecological functions of the Indian River Shores barrier island and Indian River Lagoon.

Policy 6.1.4.1: ~~The Town shall Encourage a variety of ordinances and guidelines in support of our aquifer Florida Aquifer and Surficial Aquifer Systems, and shall continue to:~~

- a. Follow guidelines as outlined in EPA’s the Federal Environmental Protection Agency National Pollutant Discharge Elimination Program (NPDES);
- b. Follow guidelines as outlined in the State of Florida’s Springs and Aquifer Protection Act;
- c. Endeavor to identify the sources of nitrogen pollution in the region’s water resources;
- d. ~~supporting~~ Support projects and strategies that will achieve the reductions needed to improve water quality in the region; and
- e. Develop, enact, and implement ordinances that meet the Model Ordinance for Florida-Friendly Fertilizer Use on Urban Landscapes and, when necessary, endeavor to adopt additional requirements to adequately address fertilizer pollution.

Policy 6.1.4.2: ~~Protect wetlands (i.e., wetlands shall include hydric soils, vegetative indicators, and hydrology) as identified by DEP FDEP, shall be protected from physical or hydrologic alterations in order to maintain natural functions. No development shall be permitted in functional wetlands other than approved passive recreation, open space, restricted accessway, bird sanctuary, natural stormwater retention/ detention, natural preserve, or other similar approved uses pursuant to the Town’s Wetlands Protection Ordinance and the DEP regulations.~~

Policy 6.1.4.3: Pursuant to Ord. 549, Prohibit development in functional wetlands for uses other than approved passive recreation, open space, restricted accessway, bird sanctuaries, natural stormwater

retention/detention, natural preserve, or other similar approved uses pursuant to the Town Wetlands Protection Ordinance and the FDEP regulations.

Policy 6.1.4.4: Mandate fair and equitable restoration and/or mitigation practices to minimize the adverse impacts of development through specific performance standards adopted in the following ordinances:

- a. Dune Preservation Ordinance;
- b. Wetlands Protection Ordinance;
- c. Tree and Mangrove Protection Ordinance; and
- d. Shoreline Protection Ordinance.

Policy 6.1.4.5: The Town has adopted regulations to Require that, prior to the issuance of a Certificate of Occupancy for a new development, the owner / applicant shall remove removal of all nuisance and invasive exotic vegetation as defined by FDEP and the Florida Department of Agriculture and Consumer Services.

Policy 6.1.4.6: The Town has adopted the LDC for minimizing and mitigating the hazards of development for sea turtles. These regulations include addressing Regulate beachfront lighting standards, and beach & dune preservation, stabilization, and restoration This also includes prohibiting activities disruptive to sea turtles. The Town shall review and revise regulations, as necessary, to ensure the health and wellbeing of vital sea turtle habitat throughout the Indian River Shores barrier island.

Policy 6.1.4.7: Pursuant to Ord. 549, implement specific prohibitions on development processes and activities which may be disruptive to the nesting, migratory, hatching, or other behaviors of sea turtles.

OBJECTIVE 6-1.4: PROTECT AND PRESERVE WETLANDS. The Town's adopted Wetlands Protection Ordinance shall be enforced on a continuing basis in order to protect and preserve wetlands from physical and hydrologic alterations.

OBJECTIVE 6-1.5: COMBAT SOIL EROSION. The Town's LDC includes performance standards designed to reduce the incidence of soil erosion caused by land clearing, breaches in stabilized shorelines, and lands having exposed soil without vegetative cover.

Policy 6-1.5.1: Implementing Erosion Control. The LDC requires that appropriate measures are taken during land clearing and building operations to ensure that exposed, destabilized or otherwise altered soil is expeditiously covered with an acceptable erosion control material. These provisions shall be incorporated in the subdivision, site plan review, and land clearing ordinances.

OBJECTIVE 6-1.6: PREVENTING POTENTIAL ADVERSE IMPACTS OF FUTURE MINING AND EXCAVATION ACTIVITIES. No mining activities, excepting sand mining associated with a Town approved beach renourishment program, shall be permitted within the Town of Indian River Shores since the Town is an environmentally sensitive barrier island characterized by natural systems which would potentially receive irretrievable losses from the impacts of such operations.

Policy 6-1.6.1: Prohibition Against Mining Activities. The LDC prohibits mining activities based on the irretrievable losses which such intense activities may potentially impose on the Town's fragile barrier island ecosystem.

OBJECTIVE 6-1.7: PROTECT NATIVE VEGETATION AND MARINE HABITATS. The Town has adopted the LDC which includes performance criteria designed to protect and retain major vegetative communities and marine habitats, including the dune community, the hardwood hammock community, wetlands, offshore reefs, and marine habitats within the Indian River Lagoon.

Policy 6-1.7.1: Implementing Protection of Vegetative Communities and Marine Habitats. The LDC includes the adopted Dune Preservation Ordinance, the Wetlands Protection Ordinance, the Tree and Mangrove Protection Ordinance, the shoreline protection policies, as well as performance standards governing development activities shall be used in managing and protecting the impacts of development on major vegetative communities and marine habitats. These regulations shall mandate fair and equitable restoration and/or mitigative measures in order to compensate for loss of vegetation and to enhance stabilization of fragile slopes and/or shorelines.

Policy 6-1.7.2: Preservation of Native Plant Communities. The Town has adopted Tree and Mangrove Protection Ordinances to ensure the preservation of native plant communities. ensure

Policy 6-1.7.4: Removal of Trees Causing Safety Hazard. The Town has amended the LDC to require that trees, such as Australian Pines, which are prone to wind damage and blockage of evacuation routes be removed from areas deemed by the Town to be critical corridors for evacuation purposes. Additionally, the Town shall consider the feasibility of imitating a similar program to remove any trees on public property which impose a critical hazard to evacuation routes.

Policy 6-1.7.5: Dune Vegetation and Revegetation. The Town has adopted regulations to ensure that any planting or dune revegetation incorporates only native plant material.

OBJECTIVE 6-1.8: PROTECTING FISHERIES, WILDLIFE AND WILDLIFE HABITATS. The town has adopted the LDC which includes performance criteria designed to protect fisheries, wildlife, and wildlife habitats. The Town shall enforce these regulations and shall coordinate with applicable State and Regional entities in protecting fisheries, wildlife, and wildlife habitats.

Policy 6-1.8.1: Manage the Impacts of Development on Fisheries. The Town has incorporated procedures for coordinating with the appropriate State or local regulatory agency in reviewing the implications of development proposals, including proposed subdivisions and site plan review petitions. Such coordination shall be designed to assist in identifying potential adverse impacts of proposed development on marine habitats and fisheries.

Policy 6-1.8.2: Protect sea turtles. The Town has adopted the LDC for minimizing and mitigating the hazards of development for sea turtles. These regulations include addressing beachfront lighting standards, beach & dune preservation, stabilization and restoration. This also includes prohibiting activities disruptive to sea turtles. The Town shall review and revise regulations as necessary.

RECREATION AND OPEN SPACE ELEMENT

Purpose

This section stipulates and implements goals, objectives, and policies for the Recreation and Open Space Element pursuant to ~~§~~163.3177(6)(e), F.S.

The purpose of the Recreation and Open Space Element is to indicate a comprehensive system of public and private sites for recreation. As an element of the Town Comprehensive Plan required by Section 163.3177(6)(e), Florida Statutes, the Recreation and Open Space Element endeavors to ensure that all of the Town's residents and visitors are provided ample open space and recreational facilities to enjoy the natural beauty of the Indian River Shores barrier island.

GOAL 7.1: Ensure provision of an adequate comprehensive system of public and private recreation and open space sites which meet the needs of existing and projected user groups.

OBJECTIVE 7.1.1: The Town shall, on an annual basis and prior to adoption of the annual capital budget, Review the need for new recreation sites and facilities on an annual basis in coordination with the Town annual capital improvements budget to ensure an adequate quantity and quality of recreational facilities and publicly available open space is provided. The analysis shall be predicated on data, standards, and policies contained in the Comprehensive Plan. The analysis shall be directed toward maintaining a system of recreational sites and facilities which is responsive to user needs.

~~The Town has adopted performance standards as part of the LDC designed to ensure that all new developments provide recreational land and facilities or a fee in lieu thereof sufficient to accommodate the recreation demands generated by respective new developments. Such improvements or fees in lieu thereof shall be required concurrent with the impact of new development.~~

Policy 7.1.1.1: The Town shall Coordinate with the County for the maintenance of parks and recreational land resources and facilities, consistent with the following recreational facilities and open space minimum level of service standards: cited in Tables 1 and 2 of this section. These standards shall be used as the Town's adopted level of service criteria in reviewing proposals for development orders or permits. The Town has not identified any existing level of service deficiencies within the recreation system.

- a. Standard Tennis Courts: one (1) court per 2,000 population
- b. Racquetball/Handball Courts: one (1) court per 10,000 population
- c. Basketball Courts: one (1) court per 5,000 population
- d. Softball/Baseball Diamond: one (1) diamond per 3,000 population
- e. Swimming Pool: one (1) pool per 8,700 population
- f. Golf Course: one (1) 9-hole per 50,000 population
- g. Picnic Tables: one (1) table per 500 population
- h. Shuffleboard Courts: one (1) court per 1,500 population
- i. Bicycle/Jogging Path: 0.56 miles per 1,000 population
- j. Neighborhood Park: 2.5 acres per 1,000 population

Policy 7.1.1.2: The Town shall Maintain an a publicly available information and inventory system on of recreation facilities, since these existing resources fulfill a major component of the Town's neighborhood park needs. Private recreation lands and facilities shall continue to be mandated as an integral part of all new residential developments.

Policy 7.1.1.3: ~~The Town has amended the LDC which includes performance criteria mandating dedication of land for parks and recreation or fees in lieu thereof. This provision shall Permit a developer proposed developments to provide private recreational space and facilities within a development in lieu of land dedication to ensure new developments provide necessary recreation lands. These regulations are intended to ensure that new development provides necessary recreation lands, facilities, and/or fees in lieu thereof in order to accommodate the demands generated by new development. These regulations will be reviewed and amended, as needed.~~

Policy 7.1.1.34: Publicly funded projects that improve, change, or in some way support shorefront development shall must provide for public access to the shoreline, as well as the necessary support facilities and services, such as boardwalks, beach/dune walkovers, parking lots, restroom, and refuse collection.

Policy 7.1.1.45: ~~If in the future the Town identifies As recreation improvements projects for which public funds are needed are identified and proposed, as opposed to developer financed improvements, the Town shall prioritize scheduling and incorporating such projects costing \$25,000.00 or more in the 5-Year Capital Improvements Element Program.~~

Policy 7.1.1.56: ~~The Town shall Maintain the existing inventory of recreation facilities through the use of proper management and funding techniques. The Town shall ensure that recreation facilities are well managed and maintained. This shall be partially achieved by continuing efforts toward collecting, maintaining, and updating data concerning public and private resource inventory, recreation improvement, and demand factors, and by improving design criteria and evaluation to attain a high-quality recreation system.~~

Policy 7.1.1.67: ~~All plans for design of recreation land resources shall Incorporate creative concepts of urban design and landscape in all plans for the design of recreation facilities and open space. The plans shall be designed to enhance controlled access along the shoreline of the ocean and estuary systems.~~

Policy 7.1.1.78: Recreational facilities and open space plans which abut the beach or Indian River Lagoon must be designed to provide controlled access along the shoreline of the ocean and estuary systems.

Policy 7.1.1.89: ~~The Town shall consider Implement considerations of environmental and conservation education awareness as a supplemental function of parks and recreation programs through cooperative programming with environmental and resource management agencies, park and recreation programs will serve as an instrument for environmental education.~~

OBJECTIVE 7.1.2: Coordinate with public and private agencies to implement recreational facilities and open space opportunities.

Policy 7.1.2.1: ~~The Town shall endeavor to find Identify and apply for grant funding mechanisms to provide funding for public recreational opportunities.~~

Policy 7.1.2.2: ~~The Town shall Coordinate with the private developments sector in order to ensure that all current and future residential developments provide fair and equitable measures for accommodating future recreation land and facility needs.~~

Policy 7.1.2.3: ~~The Town shall Evaluate all public owned lands that are not in current use or identified for future use for their potential as public open space. Additionally, where feasible, the Town shall consider utilizing drainage easements as public open space with appropriate access. The Town shall examine strategically located environmentally sensitive open space systems in order to determine the feasibility of purchasing the land and / or development rights.~~

Policy 7.1.2.4: ~~Consider the viability of utilizing drainage easements as public open space with appropriate access where such easements would enhance public access to open space.~~

Policy 7.1.1.2: Monitor and Update Recreation Demand and Supply Analysis. ~~The Town shall update, as needed, as they approach buildout~~

Policy 7.1.1.10: Designation or Acquisition of Natural Reservations. ~~"Natural reservations" are areas designated for conservation purposes, and operated by contractual agreement with or managed by a Federal, State, Regional or local government or nonprofit agency such as: national parks, state parks, lands purchased through grant programs, sanctuaries, preserves, monuments, archaeological sites, historic sites, wildlife management areas, national seashores, and outstanding Florida Waters.~~

~~As part of the Town's annual review of needs for recreational sites and facilities (See Objective 7.1.1), the Town shall consider acquiring for conservation purposes lands designated "Residential Conservation / Environmentally Sensitive" or "Coastal High Hazard / Environmentally Sensitive" on the Future Land Use Map Series.~~

~~As such land needs are identified, the Town shall investigate the potential of funding such conservation programs through use of public or private not-for-profit agency resources. No natural reservations currently exist within the Town limits, other than the Indian River Lagoon, a designated State Aquatic Preserve.~~

OBJECTIVE 7.1.2: PROTECT OPEN SPACE SYSTEMS. ~~The Town has adopted the LDC which includes performance criteria designed to protect lands designated as open space from incompatible land uses and such designated lands shall remain functionally intact. This objective shall be directed as herein cited below:~~

Policy 7.1.2.1: Implementing the Land Development Code. ~~The Town has adopted the LDC which includes provisions for enforcing open space policies stipulated in the Plan. In addition to the subdivision ordinance mandatory park and recreation land and facilities regulation, the Town shall enforce the LDC which includes specific open space definitions and standards addressing protection of open space, natural vegetation, landscape, and signage. Regulations shall include stipulations governing the provision and use of open space for buffering, protection of natural corridors, including drainageways, as well as other commonly accepted uses.~~

OBJECTIVE 7.1.3: ACCESS FACILITIES. ~~All public recreational facilities shall have operational automobile, bicycle and pedestrian access facilities as deemed appropriate by the Town Council, Indian River County and FDOT.~~

Policy 7.1.3.1: Right-of-Way Improvements. ~~The Town shall ensure maintenance of vehicle access facilities serving all public and private recreational sites. As future road improvements are identified,~~

design concepts shall include consideration of nonmotorized transportation needs using FDOT design standards for bicycle facilities. The Town shall continue to use its Bicycle Impact Fee program to promote development and maintenance of bicycle paths. Similarly, the Town shall continue to work as a member of the Indian River County's MPO Bicycle Advisory Committee to continue developing a more expansive system of bicycle pathways.

Policy 7-1.3.2: Design of Access Facilities. Public parks and facilities shall be designed and constructed with accessways which are compatible with the character and quality of on-site natural resources.

Policy 7-1.3.3: Bicycle / Pedestrian Accessways. All public recreation areas and beach access facilities shall be provided with bicycle and pedestrian accessways as deemed feasible by the Town Council. In planning and designing these accessways, the Town shall consider the need to remove barriers limiting access to the physically handicapped.

Policy 7-1.3.4: Parking Areas and Bicycle Accommodations. The Town shall provide parking spaces and bicycle storage facilities at recreation sites where needed and deemed feasible by the Town Council.

Policy 7-1.3.5: Facilities for Handicapped and Elderly. The Town shall ensure that public and private facilities, including recreation improvements are designed in a manner which incorporates facilities accessible to the handicapped and the elderly.

OBJECTIVE 7-1.4: ACCESS TO THE OCEAN, INDIAN RIVER LAGOON AND TRIBUTARIES. The Town shall promote new and preserve existing access to the Town's beachfront as well as to the Indian River Lagoon and its tributaries. This objective shall be directed as herein cited below:

Policy 7-1.4.1: Require Access Points be Provided as Needed. The Town shall ensure that appropriate access is provided to the Ocean and the Indian River Lagoon through the most economically feasible methods. Access to the beachfront shall be provided by elevated dune walkover structures, generally where practicable. All new developments along the Ocean shall be required to provide and maintain elevated dune walkover structures.

OBJECTIVE 7-1.5: PUBLIC AND PRIVATE COORDINATION IN PLANNING AND IMPLEMENTING RECREATION IMPROVEMENTS. The Town of Indian River Shores has adopted the LDC which includes performance criteria designed to mandate that new developments provide recreation and open space improvements or fees in lieu thereof. These regulations will be reviewed and amended, as needed.

The Town shall coordinate planning for recreation improvements with the Indian River County School Board, the Audubon Society, and the private sector in order to promote recreational opportunities, including environmental education activities, in a cost effective manner.

Policy 7-1.5.4: Utilize Grant writers and Other Appropriate Fiscal Advisors. The Town shall ensure that the advantages of all appropriate local and non-local sources of financial and technical assistance are sought and received.

Alternative funding sources and impacts must be monitored so that appropriate evolving State and Federal assistance programs shall be aggressively pursued to ensure the attainment of recreation objectives in a cost effective and fiscally equitable manner.

Policy 7-1.5.5: Review Plans and Policies. Review and amend as necessary existing plans and policies based on continuing analysis of problems and issues related to parks, recreation, and open space. These analytical efforts shall include evaluation of major shifts in the indicators of supply and demand. Identified future land and capital improvements shall be scheduled and programmed in the capital improvement program and budget.

INTERGOVERNMENTAL COORDINATION ELEMENT

Purpose

This section stipulates and implements goals, objectives, and policies for the Intergovernmental Coordination Element pursuant to 163.3177(6)(h), F.S.

The purpose of the Intergovernmental Coordination Element is to coordinate relationships and to establish the principles and guidelines to be used for joint planning initiatives and coordination with adjacent local governments and other external governmental and quasi-governmental agencies. As an element of the Town Comprehensive Plan required by Section 163.3177(6)(h), Florida Statutes, the Intergovernmental Coordination Element endeavors to ensure that opportunities for joint planning are identified and coordinated, potential disputes are resolved, and interlocal agreements are implemented into the Town's planning processes.

GOAL 8.1: ~~The Town shall~~ Undertake actions necessary to establish intergovernmental relationships designed to improve the coordination of public and private entities involved in development activities, growth management, and resource conservation.

OBJECTIVE 8.1.1: Pursuant to Ord. 491, ~~As the Comprehensive Plan is amended, coordinate land use decisions having which may have potential impacts which transcend the Town's jurisdiction, shall be systematically coordinated with adjacent jurisdictions, the Indian River County School District, with adjacent local governments and external agencies. The Town Manager or designee shall also serve on the Public School Planning Technical Advisory Committee (SPTAC) and the Staff Working Group (SWG) established in the Public School Interlocal Agreement.~~

Policy 8.1.1.1: Responsible Entity for Intergovernmental Coordination Pursuant to Ord. 491, the Town Council ~~shall be~~ is responsible for ensuring an effective intergovernmental coordination program for the Town. The Town's Manager or his designated representative shall represent the Town on the Indian River County Metropolitan Planning Organization, the School Planning Technical Advisory Committee (SPTAC), and the Elected Officials Oversight Committee.

Policy 8.1.1.2: ~~The Town shall~~ Review proposed Comprehensive Plan amendments for adjacent jurisdictions local governments for the purpose of intergovernmental coordination and to promote and provide comments or technical assistance comments to the local government and Florida Department of Commerce to ensure consistency with the Town's adopted Plan local concurrency is maintained.

Policy 8.1.1.3: ~~The Town shall~~ Pursuant to Ord. 491, ~~P~~pursue resolution of growth management issues with impacts transcending the Town's political jurisdiction, by participating in the Indian River County MPO Metropolitan Planning Organization and other Regional and County-wide planning efforts, ~~the School Planning Technical Advisory Committee (SPTAC), the Staff Working Group (SWGG) and the Elected Officials Oversight Committee.~~ Similarly, issues impacting the Region or the State shall be coordinated with the Regional and/or State agency having jurisdiction. Such issues shall be coordinated as the Plan is adopted or amended pursuant to provisions established by Chapter 163, Pt II, F.S. Issues to be pursued include but are not limited to the following:

- a. ~~Development proposed in the Town's Comprehensive Plan which impacts Indian River County, the City of Vero Beach, the Region, or the State;~~
- b. ~~Land development activities adjacent to the City's corporate limits;~~
- c. ~~Potential unincorporated enclave and annexation issues;~~

- d. ~~Issues surrounding continuance of public water and wastewater service from the primary utility provider;~~
- e. ~~Areawide drainage and stormwater management master plan, proposed improvements, and implementing programs;~~
- f. ~~Solid waste disposal, especially hazardous waste collection and disposal as well as improvements required in order to comply with The Resource Conservation and Recovery Act;~~
- g. ~~Issues surrounding hurricane evacuation which must be coordinated with the Indian River County Emergency Management Department;~~
- h. ~~Coordination of Comprehensive Plan amendments with the appropriate agency;~~
- i. ~~Levels of service standards for infrastructure system impacting the Town, adjacent unincorporated areas, and the City of Vero Beach;~~
- j. ~~Natural resource conservation, including the Indian River Lagoon, beach and shore stabilization, beach access, and wetland reservations;~~
- k. ~~Coordination and implementation of the FDOT 5-year Transportation Plan and County road improvement strategies managed through the Indian River County Metropolitan Planning Organization; and~~
- l. ~~Implementation of the Basin Management Action Plan for restoring the Indian River Lagoon.~~
- m. ~~Adoption of the Indian River County School District Interlocal Agreement for Coordinate Public School Planning and Concurrency.~~
- n. ~~Participation in the School Planning Technical Advisory Committee (SPTAC) and Intergovernmental Coordination for Public School Facilities Planning and School Concurrency.~~

Policy 8.1.1.4: Identify potential unincorporated enclaves which would be appropriate for annexation and coordinate proposed annexations with Indian River County through joint planning initiatives.

Policy 8.1.1.5: Coordinate annually with Indian River County on issues involving natural or human-caused disaster evacuations with the Indian River County Emergency Management Department.

Policy 8.1.1.6: Coordinate annually with the City of Vero Beach through joint planning ventures to maintain the adopted levels of service standards for infrastructure system impacting the Town, adjacent unincorporated areas, and the City of Vero Beach.

Policy 8.1.1.7: Coordinate annually with the Indian River County Metropolitan Planning Organization to implement the FDOT 5-Year Transportation Plan and Indian River County road improvement strategies.

Policy 8.1.1.8: Pursuant to Ord. 549, coordinate and work cooperatively with the City of Vero Beach and Indian River County in implementing the requirements and best practices required by the Indian River Lagoon Basin Management Action Plan.

Policy 8.1.1.49: As development is proposed within the Town which generates potential impacts on the City of Vero Beach and/or Indian River County, the Town shall coordinate such impacts with the City of Vero Beach and Indian River County. The intergovernmental review process shall include jurisdiction of the Comprehensive Plan of the City of Vero Beach and Indian River County, respectively.

OBJECTIVE 8-1.2: CONFLICT RESOLUTION. The Town shall coordinate such matters as issues transcending the Town's jurisdiction arise.

Policy 8-1.2.1: Informal Mediation Process. This effort shall include coordination with the Indian River County MPO as well as the Treasure Coast Regional Planning Council (TCRPC) staff. Specific

~~management options shall be implemented through interlocal agreements with appropriate governing bodies.~~

~~**Policy 8-1.2.2: Mechanisms for Intergovernmental Coordination Review.** The Town shall attempt to resolve local issues with the appropriate agency.~~

~~**OBJECTIVE 8-1.3: INFRASTRUCTURE SYSTEMS AND LEVEL OF SERVICE STANDARDS.** The Town has adopted the LDC which includes a Concurrency Management Program that requires specific issues surrounding levels of service standards for existing and proposed public facilities within the Town and adjacent areas which shall be coordinated with all State, Regional, or local agencies or private entities having existing or proposed future responsibility for the operation and maintenance of such facilities. The LDC will be reviewed and updated as needed.~~

~~**OBJECTIVE 8.1.2: Engage in joint planning and necessary stipulations and interlocal agreements to resolve conflicts between the Town and adjacent and regional local governments. Policy**~~

~~**8.1.2.31:** Where the Town is unable to resolve intergovernmental conflicts with local jurisdictions, the Town Council shall will determine if it is appropriate appropriateness for the respective issue to be mediated through the TCRPC Treasure Coast Regional Planning Council (TCRPC).~~

~~**Policy 8.1.32.12:** The Town shall Work with the County emergency management personnel to ensure participation and implementation of the Local Mitigation Strategy (LMS) and other emergency operations.~~

~~**Policy 8.1.32.3:** The Town shall Cooperate with the Treasure Coast Regional Planning Council (TCRPC) TCRPC in the review of Regional regionally significant policies and standards which require coordination with local governments. Foremost, among such issues shall be assessment of standards for adequate levels of service for Regional transportation facilities. However, the Town shall coordinate with the TCRPC in all matters of Regional significance in which the TCRPC desires input, including but not limited to, Development of Regional Impact (DRI's), Intergovernmental Coordinated Review (ICR) Projects, and Comprehensive Plan review.~~

~~**Policy 8.1.32.34:** Pursuant to Ord. 491 during preparation of the annual Capital Improvements Program, the Town shall evaluate all applicable state, regional, and local programs proposed for funding including the coordination of annual updates to the School District's "Summary of Capital Improvements Program" in order to promote consistency with the Comprehensive Plan. The Town shall adopt and assist in coordinating and participating in resolving issues surrounding annual updates to the School District's capital improvements program.~~

~~**OBJECTIVE 8-1.4 MULTIJURISDICTIONAL ENVIRONMENTAL ISSUES. Policy 8.1.2.5:** As At a minimum, of twice annually (as set forth in Objective 8-1.1.) the Town shall engage in coordination meetings with the Indian River County to ensure consistent and ~~coordinated~~ concurrent management of multijurisdictional environmental issues. The Town shall similarly coordinate with the DEP and the Central Indian River Lagoon Basin Management Action Plan on matters surrounding preservation of the Indian River Lagoon, water quality, and other development issues impacting marine resources.~~

Policy 8.1.42.16: Liasion with Permitting Agencies. Establish Maintain formal liaison with County, State, Regional (i.e., the St Johns River Water Management District and any other applicable entity), and Federal agencies external governmental and quasi-governmental agencies and adjacent local governments which have permitting responsibility within the Town of Indian River Shores.

Policy 8.1.2.7: At a minimum of twice annually, engage in coordination meetings and initiatives with the City of Vero Beach and Indian River County to ensure cooperative efforts in meeting the requirements established in Chapter 2023-169, Laws of Florida, and the Indian River Lagoon Basin Management Action Plan.

Policy 8-1.4.2: Management of the Indian River Lagoon. The Town annually shall continue to participate in the implementation of the IRLBMAP for the Indian River Lagoon.

***POLICY 8-1.3.4, 8-1.3.5, AND OBJECTIVE 8-1.4 WERE ORIGINALLY ADDED IN ORD. 491 AND REPEALED PRIOR TO ORD. 549.**

Policy 8-1.3.4: Public Schools Level of Service Standards. §163.3180(13)(b)(1), FS, requires that the School District, Indian River County, and the non-exempt municipalities jointly adopt level of service standard for public schools. Therefore, the Town shall adopt and assist in coordinating and participating in resolving issues surrounding maintaining and updating the level of service standards in the Public School Facility Element as presented below:

<u>Level of Service (LOS) Standard for Public Schools</u>	
<u>Type of Facility or Service Area</u>	<u>LOS Standard</u>
<u>School (Countywide)</u>	
<u>Weight Average:</u>	<u>139.07 building square foot per student station</u>
<u>Elementary School:</u>	<u>144.71 building square foot per student station</u>
<u>Middle School:</u>	<u>117.26 building square foot per student station</u>
<u>High School:</u>	<u>147.57 building square foot per student station</u>
<u>School Concurrency (School Service Area):</u>	<u>100% of Florida Inventory of School Houses (FISH) capacity for each public school type (elementary, middle, and high):</u>

Policy 8-1.3.5: Implementing a Public School Facility Element and Capital Improvement Program, and Coordinated Planning and School Concurrency Interlocal Agreement. Pursuant to §163.3177, 163.3180(13), and 1013.33, FS, the Town has adopted and shall commit the resources required to carryout intergovernmental coordination and the related procedures and substantive policies established in the Interlocal Agreement for Coordinated Planning and School Concurrency which has been executed by the Town, the Indian River County School Board, Indian River County, and each of the other non-exempt municipality within the County. The Interlocal Agreement requires collaborative planning and decision making on population projections, public school siting and school concurrency management in order to accomplish the following:

1. To satisfy the requirement in §163.3180(13)(g)(4), FS, that the School District, Indian River County, and all non-exempt municipalities prepare and adopt a financially feasible capital facilities program that will result in public schools operating at the adopted level of service consistent with the timing specified in the School District's Five-Year Facilities Work Program;
2. To ensure the School District's commitment to update and adopt the plan yearly to add enough capacity in the new fifth year to address projected growth and to adjust the plan in order to

maintain the adopted level of service and to demonstrate that the utilization of school capacity is maximized to the greatest extent possible, taking into account transportation costs and court-approved desegregation plans, as well as other factors, pursuant to §163.3180 (13)(g)(5) and 1013.35, FS;

3. To ensure the maintenance and sustainability of the countywide level of service standards for public schools;
4. Enforce the Interlocal Agreement for coordinated planning and school concurrency management and participate in school planning activities impacting the Town including established procedures for intergovernmental coordination for:
 - a. Continuing exchange of information and data and projections related to population and housing, development trends, infrastructure improvements in order that school plans shall be based on consistent projections as required by §163.31777(2)(a), FS;
 - b. Continuing planning efforts required to resolve substantive and procedural school planning issues;
 - c. Continuing planning, management, and formulation of equitable investment strategies required to maintain the framework established in the Interlocal Agreement for planning and coordinated investments in public school facilities, including land for new and expanded facilities near residential areas to be served as well as supportive infrastructure.
 - d. Assist coordinated land use planning required to implement the adopted Countywide Comprehensive Public School Facility Element.

OBJECTIVE 8-1.4: Coordination with School District. By March 2008, the Town and the School District will have a formal process for sharing information, for coordinating plans and projects, for planning and providing infrastructure improvements, and for siting school facilities.

Policy 8-1.4.1: No Public School Facilities to Be Located in the Town. The Indian River County School Board staff affirmed that the School District 5 and 10 Year Plans do not include a plan to locate any public schools within the corporate limits of the Town of Indian River Shores. The Town has no undeveloped land sufficient to meet the location, access, and acreage requirements established by the School Board for the location of public school facilities. In addition, the Town is located on a very narrow barrier island bounded by the Indian River Lagoon and the Atlantic Ocean. Therefore, student transportation access is severely limited and would be adversely impacted by the potential for mandated hurricane evacuation.

Policy 8-1.4.2: Coordinating Exchange of Data. The Town shall remain committed to implementing the procedures and substantive policies established in the Interlocal Agreement for Coordinated Planning and School Concurrency (ILA), including, but not limited to:

1. The Town shall notify the School Planning Technical Advisory Committee (SPTAC) of all proposed residential development projects as a part of the review process for school concurrency.
2. The Town shall share population, housing, land use data with the SPTAC.
3. The Town shall attend meetings where the Town's representation is required pursuant the ILA.
4. The Town shall coordinate with the SPTAC to effectively manage the public school impacts generated by new development or redevelopment proposals, proposed rezonings, and proposed comprehensive plan amendments.

PROPERTY RIGHTS ELEMENT

Purpose

Pursuant to Ord. 556, the purpose of the Property Rights Element is to ensure that the Town respects judicially acknowledged and constitutionally protected property rights. As an element of the Town Comprehensive Plan required by Section 163.3177(6)(i), Florida Statutes, the Property Rights Element endeavors to ensure that the personal and private property of Town residents is respected in Town planning initiatives.

GOAL 9.1: Respect judicially acknowledged and constitutionally protected private and personal property rights in Town planning initiatives and local decisions.

OBJECTIVE 9.1.1: Consider Town residents and visitors' rights to personal and private property in Town planning initiatives and local decisions.

Policy 9.1.1.1: Consider the right of a property owner to physically possess and control their interests in the property, including easements, leases, or mineral rights, in local decision making.

Policy 9.1.1.2: Consider the right of a property owner to use, maintain, develop, and improve their property for personal use or for the use of any other person, subject to state law and local ordinances, in local decision making.

Policy 9.1.1.3: Consider the right of the property owner to privacy and to exclude others from the property to protect the owner's possessions and property in local decision making.

Policy 9.1.1.4: Consider the right of a property owner to dispose of their property through sale or gift in local decision making.

CHAPTER 10: PROPERTY RIGHTS ELEMENT

10-1 PROPERTY RIGHT GOALS, OBJECTIVES AND POLICIES. This section stipulates and implements goals, objectives, and policies for the Property Rights Element pursuant to 163.3177(6)(i), F.S.

GOAL 10-1: PRIVATE PROPERTY RIGHTS. Establish a private property rights Statement of Rights.

OBJECTIVE 10-1: CONSISTENCY WITH FLORIDA STATUTES. Ensure that private property rights are considered in local decision making, compiling with Florida Statutes.

POLICY 10-1.1.1: PHYSICAL POSSESSION AND CONTROL. The Town of Indian River Shores will consider the right of a property owner to physically possess and control his or her interests in the property, including easement, leases, or mineral rights.

POLICY 10-1.1.2: CONSIDERATION OF OTHER PROPERTY OWNERS. The Town will consider the right of property owner to use, maintain, develop, and improve his or her property for personal use or for the use of any other person, subject to state law and local ordinances including but not limited to the Town's Comprehensive Plan and Land Development Code.

POLICY 10-1.1.3: PRIVACY. The Town will consider the right of the property owner to privacy, and to exclude others from the property to protect the owner's possessions and property in accordance with Florida law.

POLICY 10-1.1.4: DISPOSTION. The Town will consider the right of a property owner to dispose of his or property through sale or gift.

**CHAPTER 9: CAPITAL IMPROVEMENT ELEMENT WAS A STANDALONE ELEMENT UNTIL ORD. 549 IN WHICH IT WAS COMBINED WITH THE PUBLIC SCHOOLS FACILITIES ELEMENT. TEXT THAT IS HIGHLIGHTED WERE STRUCK AS PART OF ORD. 491.*

Chapter 9: Capital Improvement Element Goals, Objectives, and Policies

~~**GOAL 9-1:** THE TOWN SHALL TAKE ACTIONS THAT ARE NECESSARY TO PROVIDE NEEDED PUBLIC FACILITIES TO ALL RESIDENTS WITHIN ITS JURISDICTION IN A MANNER TO PROTECT INVESTMENTS IN EXISTING FACILITIES AND MAINTAIN THE TOWN'S TREND TOWARD DIMINISHED DENSITY WITH GROWTH.~~

~~**OBJECTIVE 9-1.1: CAPITAL IMPROVEMENTS.** Capital improvements will be provided to meet the requirements generated by identified existing deficiencies, by future growth, and by replacement of worn out or obsolete facilities.~~

~~**Policy 9-1.1.1: Capital Improvements Program.** The Town shall include projects identified in other elements of the plan and determined to be of relatively high costs (\$25,000 or greater) as capital improvements projects. They will be identified in this element as generated by other elements of the comprehensive plan. All other capital improvements shall be included in the five year capital improvement plan and annual capital budgets.~~

~~**Policy 9-1.1.2: Eliminate Deficiencies in Capital Improvement Systems.** The Town shall, as a matter of priority, schedule and fund all capital improvement projects in the 5 year capital improvement plan which are designed to eliminate deficiencies listed in the Capital Improvement Element.~~

~~**Policy 9-1.1.3: Coordinate Funding of Capital Improvement with Infrastructure Needs.** The Town will annually, during the budget process, coordinate its budget development and fiscal resources to assure that the policies of the elements of its comprehensive plan are recognized and responded to in its capital outlay program.~~

~~**Objective 9-1.2. Proportionate Fair Share.** Future development will bear a proportionate cost of facility improvements necessitated by the development in order to maintain adopted LOS standards.~~

~~**Policy 9-1.2.1: Monitor On-going Impact Fee Programs.** The Town shall continue its assessment of Transportation, Drainage, Public Schools, and Bike Path impact fees, and it will monitor City of Vero Beach programs for sewer and potable water, and Indian River County programs for solid waste to assure their respective public facility improvements will be adequate.~~

~~**Policy 9-1.2.2: Implement Mandatory Dedications or Fees in Lieu of Programs.** The Town shall implement a program for mandatory dedications or fees in lieu of as a condition of plat approval for the provision of recreation and open space.~~

~~**OBJECTIVE 9-1.3: MANAGEMENT OF FISCAL RESOURCES AND CAPITAL IMPROVEMENTS.** The Town will manage its fiscal resources to ensure provision of needed capital improvements for future development and redevelopment.~~

Policy 9-1.3.1: Development Review to Ensure Adequate Public Facilities. Prior to issuance of Certificates of Occupancy, the Town shall assure that all public facilities needed to serve development for which development orders were previously issued are provided.

Policy 9-1.3.2: Continue to Adopt 5-Year Financially Feasible Capital Improvement Program. ~~The Town shall adopt a financially feasible capital improvements program by December 2008. The Town shall annually adopt a financially feasible five year capital improvement program as part of its budgeting process, including the Indian River County School District's "Summary of Capital Improvements Program" as herein presented in Appendix A, Table A-1 and the "Summary of Estimated Revenues" as herein presented in Appendix A, Table A-2.~~

Policy 9-1.3.3: Funding of Bike Paths. The Town shall loan the unexpended balance from the Transportation Fund to the Bike Path Fund for the development of bike paths as scheduled in the Capital Improvement Plan.

Policy 9-1.3.4: Grantsmanship. Whenever feasible, efforts will be made to obtain capital improvement funding assistance from applicable federal and state funding assistance programs.

Policy 9-1.3.5: Criteria for Assessing Capital Improvement Priorities. Evaluation of comprehensive plan element generated capital expenditure needs shall be based on the following criteria:

- a. ~~The elimination of public hazards~~
- b. ~~The elimination of existing capacity deficits~~
- c. ~~Local budget impact~~
- d. ~~Locational needs based on projected growth patterns~~
- e. ~~The accommodation of new development and redevelopment facility demands~~
- f. ~~Financial feasibility~~
- g. ~~Plans of state agencies and water management districts that provide public facilities within Town jurisdiction.~~

Policy 9-1.3.6: Managing Debt. The Town shall continue its policy of remaining debt free by:

- a. ~~Coordinating future capital outlay requirements with pre-established and funded designated accounts~~
- b. ~~Requiring developer contribution to development generated capital outlay demand costs to the extent the development impacts the facility.~~
- c. ~~Providing for adoption of a capital budget as part of the annual budget process.~~

Policy 9-1.3.7: Capital Improvement Program to Be Updated as Part of the Annual Budgeting Process. The Town shall continue to adopt a five year capital improvement budget. The capital improvements elements shall be reviewed annually as part of the capital improvements budget process to determine input to the capital budget. The Town's Capital Improvement Program is presented in Table 4 on the following page.

Policy 9-1.3.8: Annually Adoption of the "School District of Indian River County Five Year Capital Improvement Schedule." ~~The Town shall adopt "School District of Indian River County Five Year Capital Improvement Schedule" as herein presented in Appendix A, Table A-1 from the School District's adopted Five Year Capital Plan as well as the School District's project revenues as herein presented in Appendix A, Table A-2 pursuant to Section 163.3177(3)(a)(5) F.S. The Capital Improvement Schedule and the projected revenues will be evaluated and updated annually to reflect existing and future public school~~

facility needs of the county. This will ensure that the School District's Five Year Capital Plan is financially feasible and that the adopted level of service standard for public schools is achieved and maintained.

Table 1: Scheduled Indian River Shores Capital Improvements 1990 – 1995

	Target Year	Comp. Plan Related	Estimated Cost	Fund	Revenue Source
Extend Bike Path A1A	1990	000	\$110,000	Bike Path	Impact Fees
Remodel Public Safety Building	1990	000	70,000	General	Ad Valorem Tax
Purchase new Fire Truck	1990	000	225,000	General	1 Cent Sales Tax
Town Entrance Construction	1990	000	25,000	Transp.	Impact Fees Gas Tax
Replace Town Vehicles	1990	000	45,000	General	Ad Valorem Tax
Remodel P.S. Building	1991	000	120,000	General	1 Cent Sales Tax
Cemetery Columbarium	1991	000	15,000	General	Cemetery Plot Sales
Replace Town Vehicles	1991	000	48,000	General	Ad Valorem Tax
Town Entrance Construction	1991	000	25,000	Transp.	1 Cent Sales Tax
Extend Bike Path: F Tuerk Drive to Winter Beach Rd.	1992	000	50,000	Bike Path	Impact Fees
Replace Town Vehicles	1992	000	31,000	General	Ad Valorem Tax
Replace Town Copy Machine	1993	000	7,000	General	Ad Valorem Tax
Replace Town Vehicles	1993	000	61,000	General	Ad Valorem Tax
Public Safety Garage	1994	000	50,000	General	1 Cent Sales Tax
Replace Town Vehicles	1994	000	30,000	General	Ad Valorem Tax
Landscape A1A	1994	000	50,000	Transp.	Gas Tax
Notes: The column in Table 1 labeled "Target Year" indicates the year by which the projects are to be completed. The projects listed in Table 1 are inclusive of all anticipated capital expenditures by the Town during this time period. Estimates for the construction of bike paths were derived from the engineering files of Lloyd and Associates. No element deficiencies were generated for first five year period.					

OBJECTIVE 9-1.4: LIMIT PUBLIC EXPENDITURES IN COASTAL HIGH HAZARD AREA. The Town shall limit public expenditures that subsidize development in high hazard coastal areas.

Policy 9-1.4.1: Discourage Development in Coastal High Hazard Areas. It is Town policy that no expenditures of public funds will be made for the purpose of facilitating development in high hazard areas.

Policy 9-1.4.2: Authorization by State Agencies Required for Development in Coastal High Hazard Area. The Town shall not approve any construction in the high hazard coastal zone unless first authorized by appropriate state agencies and other concerned state authority.

OBJECTIVE 9-1.5: CONCURRENCY MANAGEMENT SYSTEM (CMS). The Town shall continue to maintain, monitor, and enforce a concurrency management program that requires a finding that public facilities and services necessary to support a proposed development are available, or will be made available, concurrent with the impacts of the development. The CMS shall provide a systematic process for the review and evaluation of all proposed development for its impact on concurrency facilities and services, as required by the Local Government Comprehensive Planning and Land Development Regulations Act, Chapter 163, Part II, FS, and Rule 9J-5.0055, FAC. Facilities in Indian River Shores that are subject to these regulations include:

Potable Water • Recreation • Sanitary Sewer • Public Schools • Solid Waste • Drainage • Transportation

The CMS shall ensure that development orders are conditioned on the availability of concurrency facilities and services that meet adopted level of service requirements identified in this CMS. All development applications shall: 1) demonstrate compliance with Indian River Shores' Comprehensive Plan; and 2) shall demonstrate that specified concurrency facilities shall be available at prescribed levels of service concurrent with the impact of the development. For that reason, the concurrency management system must apply to all development activity in the Town, excepting development exempted pursuant to Section 163.3180(6), F.S. According to Section 163.3180(6), F.S., the impact from the construction of a single family home on an existing lot may constitute a de minimis impact on public facilities. State law allows such de minimis projects to be exempt from the concurrency requirement. The concurrency management system must identify the applicable standards for each facility, the geographic scope of each facility, the method of monitoring facility capacity changes and must specify when facilities are considered available.

Policy 9-1.5.1: Assist Coordinated Funding of Public School Facilities through Concurrency Management and Annual Update of the Public School Capital Improvement Program. The Town shall participate in the coordination of public school facilities planning and concurrency management pursuant to the terms of the Interlocal Agreement (ILA) executed by the Town, the Indian River County School District, Indian River County, and all non-exempt municipalities within the county. Pursuant to the Interlocal Agreement (ILA), the School District shall undertake only those capital improvements included within this element's adopted public school facilities capital improvements program. Pursuant to Section 163.3177(3)(b) F.S., the Capital Improvements Element will be reviewed every year. Consistent with Section 9J-5 of the Florida Administrative Code, if any facility identified in the Schedule of Capital Improvements is delayed or deferred in construction, or is eliminated from the capital improvements program, and this delay, defer, or elimination will cause the level of service to deteriorate below the adopted minimum level of service standard for the facility, a comprehensive plan amendment will be

required to adjust the Schedule of Capital Improvements. The annual update of the capital improvement element shall be done with a single public hearing before the Board of County Commissioners and a copy of the ordinance amending the Capital Improvements Element shall be transmitted to DCA.

Policy 9-1.5.2: Level of Service Standards and Procedures. Public facilities and services shall be determined to be adequate to serve the needs of a proposed development only when traffic circulation, recreation, drainage, potable water, solid waste, sanitary sewer public facilities and services, and public school facility capacity shall be available to meet established level of service standards, consistent with Chapter 163 Florida Statutes and the concurrency management provisions of this chapter.

Table 2: Indian River Shores Adopted Level of Service (LOS) Standards	
Facility	Adopted LOS Standard
<u>Sanitary Sewer:</u>	<u>255 gallons per day per dwelling unit (131 gals. per capita per day). 2500 gals. per day per acre for commercial (i.e., equivalent to 22 gals. per capita per acre per day).</u>
<u>Solid Waste:</u>	<u>21.0 pounds per capita per week (or 3.0 lbs. per capita/day)</u>
<u>Drainage:</u>	<u>25-year, 24-hour design storm; post-development conditions shall not increase the amount or rate of run-off beyond predevelopment conditions.</u>
<u>Potable Water:</u>	<u>Residential – 450 gallons per dwelling unit per day (200 gallons per capita per day). Commercial – 2,500 gallons per day per gross acre (i.e., equivalent to 22 gallons per capita per acre per day).</u>
<u>Roadways:</u>	<u>"C" for all roads except "D" during peak tourist season; Average Annual Daily Traffic (AADT) shall be the measure.</u>
<u>Recreation Standards</u>	<u>2.5 acres of neighborhood park per 5,000 population plus the following:</u>
<u>Tennis Courts:</u>	<u>1 Court per 2,000 persons</u>
<u>Handball/Racquetball Cts:</u>	<u>1 Court per 10,000 persons</u>
<u>Swimming:</u>	<u>1 Public Pool per 8,700 persons</u>
<u>Bicycle/Jogging Path:</u>	<u>0.56 miles per 1,000 persons</u>
<u>Golf Courses:</u>	<u>1-9 Hole Courses per 50,000 persons</u>
<u>Picnicking:</u>	<u>1 Table per 500 persons</u>
<u>Shuffleboard Courts:</u>	<u>1 Court per 1,500 persons</u>
<u>Schools (Countywide)</u>	
<u>Weighted Average:</u>	<u>139.07 building square foot per student station</u>
<u>Elementary School:</u>	<u>144.71 building square foot per student station</u>
<u>Middle School:</u>	<u>117.26 building square foot per student station</u>
<u>High School:</u>	<u>147.57 building square foot per student station</u>
<u>School Concurrency (School Service Area):</u>	<u>100 % of Florida Inventory of School Houses (FISH) capacity for each public school type (elementary, middle, and high).</u>

Policy 9-1.5.3: Applicability. All development and redevelopment permits including site plans, plats, conditional use applications, rezoning and building permits for principal buildings shall comply with concurrency management requirements, unless specifically exempted by Florida Statutes. For instance, de minimis development, as defined by Florida Statutes, is exempted from concurrency requirements pursuant to Section 163.3180, F.S.

Policy 9-1.5.4: Available Capacity Determination

1. **General Formula:** Capacity availability is determined by:
 - a. Adding together:
 - i. The total designed capacity of an existing public service or facility; and
 - ii. The total designed capacity of any new expanded system component that has been funded, or is part of an approved capital improvement program, a binding agreement, or functional equivalent and such capacity will become available concurrent with the impact of the development. The capacity of new facilities may be counted only if one or more of the criteria established herein for concurrency approval are achieved.
 - b. Subtracting from that number the sum of:
 - i. The established demand generated by existing consumers of the public service or facility (e.g., approved on-line developments that currently are utilizing existing portions of the designed capacity of the respective public facilities); and
 - ii. The additional committed demand for system capacity generated by proposed developments which have been granted development orders by the Town, including concurrency certificates or their functional equivalents, but such additional units of demand are not yet being served by the public facility. Such additional approved users may be developments which are still under construction or may be a part of a later phase of an approved phased development—a portion of which may already be on line.
2. **Burden of Showing Compliance on Applicant:** The burden of demonstrating compliance with the adopted levels of service (LOS) standards shall be upon the applicant. In order to be approved, applications for development approval must provide sufficient and verifiable information showing compliance with adopted LOS standards.
3. **Concurrency Monitoring System:** The Building Official shall be responsible for monitoring development activity to ensure that proposed development shall be consistent with the Comprehensive Plan. All existing and committed development and its impact on facilities subject to level of service standards shall be recorded. Monitoring shall include:
 - a. A quarterly report of all changes in zoning districts.
 - b. A quarterly summary of all building permits.
 - c. A quarterly summary of all permits issued for demolition of buildings.
 - d. A quarterly summary of all certificates of occupancy.

Policy 9-1.5.5: Criteria for Concurrency and Final Development Orders

A final development order shall not be granted for a proposed development unless the Town finds that adequate capacity for concurrency facilities exists at or above adopted level of service in order to accommodate the impacts of the proposed development, or that improvements necessary to bring concurrency facilities up to their adopted level of service will be in place concurrent with the impacts of the development as elaborated in the following criteria:

- ~~1. **For Sanitary Sewer, Potable Water, Solid Waste and Drainage:** For sanitary sewer, potable water, solid waste, and drainage facilities, the Town shall find that the following criteria have been met for a proposed development to be found in compliance with concurrency management requirements:
 - ~~a. A development order is issued subject to the condition that, at the time of the issuance of a certificate of occupancy or its functional equivalent, the necessary facilities and services are in place and available to serve the new development; or~~
 - ~~b. At the time a development order or permit is issued, the necessary facilities and services are guaranteed in an enforceable development agreement, pursuant to §163.3220, FS, or an agreement or development order issued pursuant to Chapter 380, FS, to be in place and available to serve new development at the time of the issuance of a certificate of occupancy or its functional equivalent [Also reference §163.3180(2)(a), FS].~~~~
- ~~2. **For Parks and Recreations:** For parks and recreation facilities, at a minimum, the Town shall find that the following criteria have been met in order for a proposed development to be found in compliance with concurrency management requirements:
 - ~~a. At the time the final development order is issued, the necessary facilities and services are in place or under actual construction; or~~
 - ~~b. A final development order is issued subject to the condition that, at the time of the issuance of a certificate of occupancy, the acreage for the necessary facilities and services to serve the new development is dedicated or acquired by the Town, or funds in the amount of the developer's fair share are committed; and~~
 - ~~c. A development order or permit is issued subject to a condition that the necessary facilities and services needed to serve the new development are in place or under actual construction not more than one year after issuance of a certificate of occupancy or its functional equivalent; or~~
 - ~~d. At the time the development order or permit is issued, the necessary facilities and services are the subject of a binding executed agreement which requires the necessary facilities and services to serve the new development to be in place or under actual construction not more than one year after issuance of a certificate of occupancy or its functional equivalent; or~~
 - ~~e. At the time the development order or permit is issued, the necessary facilities and services are guaranteed in an enforceable development agreement, pursuant to Section 163.3220, F.S., or an agreement or development order issued pursuant to Chapter 380, F.S., to be in place or under actual construction not more than one year after issuance of a certificate of occupancy or its functional equivalent. [Section 163.3180(2)(b), F.S.]~~~~
- ~~3. **Requisite Conditions For Transportation Facilities to Achieve Concurrency:** For transportation facilities, at a minimum, transportation supply shall be determined on a segment by segment basis and segment capacity will be based either on FDOT's generalized capacity tables or individual segment capacity studies approved by the Town Engineer or consultant. Transportation supply for each segment is the segment's existing peak hour, peak season, peak direction capacity; or the segment's new roadway capacity if facility expansion for the segment is proposed and if requisite conditions in subsection 1 below are met. The Town shall ensure that the following standards are met to satisfy concurrency requirements, unless State authorized exceptions are enacted by the Town and duly approved by the State [Cross reference §9J-20055 (4-7), FAC].
 - ~~a. At the time the final development order is issued, the necessary facilities and services are in place or under actual construction; or~~~~

- b. ~~A final development order or permit is issued subject to the conditions that the necessary facilities' expansion and services needed to serve the new development are scheduled to be in place or under actual construction not more than three years after issuance of a building permit as provided in the Town Five Year Capital Improvements Program. The Town's Capital Improvement Program may recognize and include transportation projects included in the first three years of the adopted Florida Department of Transportation Five-Year work program or the Indian River County Capital Improvement Program. The Capital Improvements Element must include the following policies:
 - i. ~~The estimated date of commencement of actual construction and the estimated date of project completion.~~
 - ii. ~~A provision that a plan amendment is required to eliminate, defer, or delay construction of any road or public transit facility or service which is needed to maintain the adopted level of service standard and which is listed in the Five Year Capital Improvements Program; or~~~~
 - c. ~~At the time the final development order is issued, the necessary facilities and services are the subject of a binding executed agreement which requires the necessary facilities and services to serve the new development to be in place or under actual construction not more than three years after issuance of a certificate of occupancy; or~~
 - d. ~~At the time the final development order is issued, the necessary facilities and services are guaranteed in an enforceable development agreement, pursuant to §163.3220, FS, or an agreement or development order issued pursuant to Chapter 380, FS, to be in place or under actual construction not more than three years after issuance of a building permit or its functional equivalent. [Section 163.3180(2)(c), F.S.; or~~
 - e. ~~The segment is the subject of a proportionate fair share agreement. In such case, the segment capacity increase reflected in the proportionate fair share agreement shall be available only to the parties of said agreement.~~
4. **Public School Facilities.** ~~A residential development order or permit shall be issued only if the needed capacity for the particular service area is available in one or more contiguous service areas as defined in Section 163.3180(13)(c), F.S.~~

Policy 9-1.5.6: Concurrency Tracking System. ~~Maintenance of a concurrency tracking system greatly facilitates the implementation of concurrency management requirements. An effective concurrency tracking system requires the systematic documentation of the characteristics of each service delivery system, including its designed capacity, nature of current demands by consumers of the service, trends in new development that generate increased demand for system capacity, the magnitude of available capacity to service new users, and determination the relative timing for system improvements that will generate additional capacity to meet projected increase in system demand.~~

~~Under the direction of the Town Manager, the Town coordinates with service providers to determine accurate estimates of available capacity for each facility. Through contact with service providers, the Town is able to quantify shifts in the characteristics of supply and demand forces that shape concurrency management. Table 3 depicts the general structure of the concurrency tracking system for each public facility category. This table shows that available capacity for each specific facility is a function of total capacity less existing demand and less committed demand. The demand section of this concurrency management plan identifies the methodology for assessing demand.~~

Table 3: Concurrency Tracking System					
<u>Public Facility</u>	<u>System Component Measured</u>	<u>Total Capacity</u>	<u>Existing Demand</u>	<u>Committed Demand</u>	<u>Available Capacity</u>
<u>Transportation</u>	<u>Roadway</u>	<u>Peak season/ peak direction/ peak hr. LOS D</u>	<u>Annual avg. count (peak season/peak direction/ peak hr.</u>	<u>Estimated volume from approved Development Order</u>	<u>= (Total capacity) – (Existing demand) – (Committed demand)</u>
<u>Sanitary Sewer</u>	<u>Treatment plant</u>	<u>Design flows</u>	<u>Existing flows</u>	<u>Estimated volume from approved Development Order</u>	<u>= (Total capacity) – (Existing demand) – (Committed demand)</u>
<u>Potable Water</u>	<u>Treatment plant</u>	<u>Design flows</u>	<u>Existing flows</u>	<u>Estimated volume from approved Development Order</u>	<u>= (Total capacity) – (Existing demand) – (Committed demand)</u>
<u>Solid Water</u>	<u>Landfill</u>	<u>Active cell</u>	<u>Active cell volume used</u>	<u>Estimated volume from approved Development Order</u>	<u>= (Total capacity) – (Existing demand) – (Committed demand)</u>
<u>Recreation</u>	<u>Parks</u>	<u>Park acreage</u>	<u>= (Acres per 1000 population) x (existing population)</u>	<u>= (Acres per 1000 pop) x (Existing pop for approved D.O.)</u>	<u>= (Total capacity) – (Existing demand) – (Committed demand)</u>
<u>Stormwater mgmt.</u>	<u>Drainage conveyances</u>	<u>Volume</u>	<u>Existing flows</u>	<u>Stormwater volume allowed to outfall for approved D.O.</u>	<u>= (Total capacity) – (Existing demand) – (Committed demand)</u>
<u>Public schools</u>	<u>Public schools (K-12)</u>	<u>Permanent student stations (FISH)</u>	<u>Annual enrollment count (FTE)</u>	<u>Est. students from approved res'l D.O.</u>	<u>= (Total capacity) – (Existing demand) – (Committed demand)</u>

APPENDIX A

Table A-1: SCHOOL DISTRICT OF INDIAN RIVER COUNTY CAPITAL IMPROVEMENT SCHEDULE

Table A-2: School District's Capital Improvement Program Revenue Summary

*CHAPTER 11: PUBLIC SCHOOL FACILITIES ELEMENT WAS ORIGINALLY ADDED IN ORD. 491 AND REPEALED PRIOR TO ORD. 549.

Chapter 11: Public School Facilities Element

GOALS, OBJECTIVES, AND POLICIES

GOAL 11-1. THE TOWN OF INDIAN RIVER SHORES SHALL ASSIST INDIAN RIVER COUNTY AND THE SCHOOL DISTRICT IN PUBLIC SCHOOL PLANNING AND ENFORCEMENT OF CONCURRENCY IN ORDER TO ACHIEVE AND MAINTAIN A PUBLIC SCHOOL SYSTEM THAT OFFERS A HIGH QUALITY EDUCATIONAL ENVIRONMENT, PROVIDES ACCESSIBILITY FOR ALL OF ITS STUDENTS, AND ENSURES ADEQUATE SCHOOL CAPACITY TO ACCOMMODATE ENROLLMENT DEMAND.

OBJECTIVE 11-1: ADEQUATE SCHOOL FACILITIES. Throughout the planning period (2008 – 2030), there will be no deficiencies within the Indian River County public school system.

Policy 11-1.1: Level of Service Standards. The Town hereby adopts the LOS standards for public schools at 100% of FISH permanent capacity.

Policy 11-1.2: School Service Boundaries. The Town hereby adopts the School Board's current public school attendance boundaries as the School Service Areas (SSA). The SSAs exclude magnet and charter schools.

Policy 11-1.3: Procedures for Modifying Boundaries. The Town shall assist the County and the School District by utilizing the following procedures for modifying SSAs:

- a. The School District will transmit a proposed SSA modification with data and analysis to support the change to the municipalities, the County, and the Staff Working Group (SWG). Any proposed change to the SSAs shall require a demonstration that the change complies with the public school LOS standard, and that transportation costs, court approved desegregation plans, and other factors have been taken into account to ensure the maximum utilization of school capacity to the greatest extent possible.
- b. The SWG will review the proposed modification and send their comments to the School District within 45 days of receipt of the proposed change.
- c. The modification of the SSAs shall be effective upon adoption by the School Board.

OBJECTIVE 11-2: SCHOOL CONCURRENCY REVIEW

After 2010, there will be adequate school facility capacity within the Indian River County public school system to accommodate projected development at the adopted level of service.

Policy 11-2.1: School Capacity Availability Determination Letter. The Town shall not approve any non-exempt residential development application for comprehensive plan amendments, rezonings, conceptual plans, preliminary plats, site plans, or their functional equivalents until the School District has issued a School Capacity Availability Determination Letter (SCADL) verifying available capacity.

Policy 11-2.2: Exemptions from School Concurrency. The Town shall consider the following residential uses exempt from the requirements of school concurrency:

- a. Lots and parcels of record legally created prior to July 1, 2008.
- b. Any new multi-family residential development that has a final site plan approval or its functional equivalent granted prior to July 1, 2008.
- c. Any amendment to any previously approved residential development that does not increase the number of dwelling units or otherwise does not increase the estimated number of students generated by the development.
- d. Age restricted communities with no permanent residents under the age of 18. Exemption of an age restricted community will be subject to a restrictive covenant limiting the age of permanent residents to 18 years and older.

Policy 11-2.3: Concurrency Certificates and Vesting. Except for the exclusions allowed under Policy 2.2, no development order shall be approved unless the appropriate School Capacity Availability Determination Letter (SCADL) verifying adequate capacity has been issued. The following table identifies the type of concurrency certificate required for each development order type:

• A Conditional SCADL is a determination that adequate school capacity is available at the time of evaluation but does not vest school capacity. If applicable, a Conditional SCADL may list feasible mitigation options that would be required of the developer to provide sufficient school capacity to vest the project.

• A Final SCADL vests school capacity. A Final SCADL shall not be required in conjunction with a building permit if the residential unit is already vested through a previously issued Final SCADL.

	<u>Development Order</u>	<u>SCADL Required</u>	<u>Vesting Allowed</u>	<u>Vesting Required</u>
<u>1</u>	<u>Comprehensive Plan Land Use Amendments and Rezonings</u>	<u>Conditional</u>	<u>No</u>	<u>No</u>
<u>2</u>	<u>Conceptual Development Plans</u>	<u>Conditional</u>	<u>No¹</u>	<u>No</u>
<u>3</u>	<u>Preliminary Plats</u>	<u>Conditional</u>	<u>No¹</u>	<u>No</u>
<u>4</u>	<u>Final Site Plans and Land Development Permits for Roads, Drainage and Utilities</u>	<u>Conditional or Final</u>	<u>Yes</u>	<u>No</u>
<u>5</u>	<u>Building Permits</u>	<u>Final</u>	<u>Yes</u>	<u>Yes</u>

¹Vesting is allowed for projects with a proportionate share agreement or an approved developer's agreement for a major road improvement

Policy 11-2.4: Concurrency Review Process. The Town, through its land development regulations, shall establish a school concurrency review process for all non-exempt residential projects. The minimum process requirements are described below:

- a. A School Impact Analysis shall be submitted to the Town in conjunction with any residential development application (such as a land use map amendment, rezoning, site plan, or preliminary plat). The School Impact Analysis indicates the location of the development, number of dwelling units and unit types (single family, multi-family, apartments, etc.), and age restrictions for occupancy, if any.
- b. The Town determines if the application is sufficient for processing and, when sufficient, transmits the application to the School District for review.

c. The School District reviews the application for available capacity and issues either a conditional School Capacity Availability Determination Letter (SCADL) or a Final SCADL as allowed in Policy 2.3:

1. If capacity is available within the affected SSA, the School District issues a SCADL verifying available capacity. Issuance of a Conditional SCADL identifying that adequate capacity exists at the time of capacity evaluation does not guarantee that school facilities will be available at the time of any subsequent concurrency review.

2. If capacity is not available within the affected SSA, contiguous SSAs are reviewed for available capacity.

3. If capacity is available in the contiguous SSAs, the School District issues a SCADL verifying available capacity, noting the SSA with capacity.

4. If capacity is not available in the contiguous SSAs, then the School District issues a SCADL indicating that the development is not in compliance with the adopted LOS and offers the developer a 90-day negotiation period for identification of mitigation options acceptable to the School District.

d. The Town and the School District shall review mitigation options during the 90-day negotiation period.

1. Mitigation options may include, but are not limited to:

i. Contribution of land in conjunction with the provision of additional school capacity; or

ii. Provision of additional Permanent Student Stations through the donation of buildings for use as a primary or alternative learning facility; or

iii. Provision of additional Permanent Student Stations through the renovation of existing buildings for use as learning facilities; or

iv. Construction of Permanent Student Stations or Core Capacity; or

v. Construction of a school in advance of the time set forth in the School District Five-Year Facilities Work Program; or

vi. Construction of a charter school designed in accordance with School District standards, providing permanent School Capacity to the District's inventory of student stations. Use of a charter school for mitigation must include provisions for its continued existence, including but not limited to the transfer of ownership of the charter school property and/or operation of the school to the School Board if requested and approved by the School Board.

2. For a Conditional School Capacity Availability Determination Letter (SCADL), the School District shall identify the mitigation options that may be acceptable to it. The School District shall not enter into an enforceable and binding agreement with a developer as part of a Conditional SCADL. Such an agreement may be entered into only in conjunction with a Final SCADL.

3. If all mitigation options are denied at the Conditional SCADL stage or if mitigation is denied at the Final SCADL stage, the Town must deny the development application based upon no available school capacity.

e. The Town shall not issue a building permit for a non-exempt residential unit unless the unit is vested for school concurrency purposes, and the Town shall not vest approval of any Proposed Residential Development for such purposes until:

i. Confirmation is received from the School District that there is sufficient Available School Capacity to accommodate the development; and

ii. Impact fees have been paid.

f. The Town shall be responsible for notifying the School District when a Proposed Residential Development has paid its impact fees and when the Development Order for the Proposed Residential Development expires.

g. The School District shall update its School Concurrency Database to reflect the number of students that will be generated from the newly vested residential unit, decreasing the number of available student stations for each school type within the designated school service areas.

Policy 11-2.5: Proportionate Share Mitigation. The Town, in conjunction with the School District, shall review developer proposed applications for proportionate share mitigation projects to add the school capacity necessary to satisfy the impacts of a proposed residential development.

Policy 11-2.6: Mitigation Agreements. The Town shall, upon acceptance of a mitigation option identified in Policy 11-2.d, enter into an enforceable binding agreement with the School District and the developer.

Policy 11-2.7: Required Notifications for School Impact Fees and Vested Concurrency. The Town shall notify the School District within 10 working days of receiving payment of school impact fees and vesting school concurrency for any residential development.

Policy 11-2.8: Other Required Notifications. The Town shall notify the School District within 10 working days of issuance of a building permit for an exempt residential use and shall notify the School District of each residential certificate of occupancy issued.

OBJECTIVE 11-3: COORDINATION. After 2008 all new public schools built within the County will be consistent with the appropriate jurisdiction's future land use map designation, will be co-located with other appropriate public facilities, will have needed supporting infrastructure, and when possible will serve as community focal points.

Policy 11-3.1: Planning for Supportive On and Off Site Improvements. The Town shall participate in the Indian River County School Planning Technical Advisory Committee and School Working Group (SWG) designated by the County and work with the School District, to jointly determine the need for and timing of on-site and off-site improvements necessary to support a new school.

Policy 11-3.2: Timing, Location, Operation and Maintenance of Off Site Improvements. The Town shall participate in the Indian River County School Planning Technical Advisory Committee and School

Working Group (SWG) designated by the County and work with the School District to identify the timing, location, and the party or parties responsible for constructing, operating, and maintaining off-site improvements necessary to support a new school.

Policy 11-3.3: Location of Schools Near Residential Areas. The Town shall encourage the location of schools near residential areas by:

- a. Assisting the School District in the identification of funding and/or construction opportunities (including developer participation) for sidewalks, traffic signalization, access, water, sewer, drainage and other infrastructure improvements.
- b. Reviewing and providing comments on all new school sites.
- c. Allowing schools within all residential land use categories.

Policy 11-3.4: Co-location. The Town, shall coordinate with the County and the School District, in planning for the co-location of public facilities with schools, such as parks, libraries, and community centers, as the need for these facilities is identified.

Policy 11-3.5: Staff Working Group to Coordinate/Monitor School Planning Process. The Town shall participate in the School Working Group (SWG) designated by the County which shall be the monitoring group for coordinated planning and school concurrency in Indian River County.

Policy 11-3.6: Adopt Regulations to Implement School Concurrency. The Town shall adopt school concurrency provisions into its Land Development Code (LDC) by July 1, 2008.

Policy 11-3.7: School District's Long Range Public School Facilities Map. The Town, in conjunction with the School District, the County and other municipalities within the County, shall identify issues relating to public school emergency preparedness, such as:

1. The determination of evacuation zones, evacuation routes, and shelter locations.
2. The design and use of public schools as emergency shelters.
3. The designation of sites other than public schools as long-term shelters, to allow schools to resume normal operations following emergency events.

Policy 11-3.8: Consistency of Long Range Public School Facilities Map. The Town shall advise the School District whether or not proposed changes to the School District's Long Range Public School Facilities Map are consistent with the Town's Comprehensive Plan and Future Land Use Map. Any changes to the School District's Long Range Public School Facilities Map will be consistent with the Comprehensive Plan Future Land Use Map of the County and its respective non-exempt municipalities.

OBJECTIVE 11-4: FIVE-YEAR SCHEDULE OF CAPITAL IMPROVEMENTS. After 2008, the five-year schedule of capital improvements will include those projects necessary to address existing deficiencies and future needs.

Policy 11-4.1: Amend Capital Improvements Element. The Town shall, no later than December 1st of each year, incorporate into the Capital Improvements Element the "Summary of Capital Improvements Program" and "Summary of Estimated Revenue" tables from the School District's annually adopted Five-

Year Capital Facilities Plan prepared by the School Board and submitted to the County and each non-exempt municipality by December of the previous year.

Policy 11-4.2: Annual Review of Plan, Map Series, and CIP. The Town, in conjunction with the School District and the County, shall annually review the Public School Facilities Element and maintain a long-range public school facilities map series, including the planned general location of schools and ancillary facilities for the five-year planning period and the long-range planning period.

PLAN IMPLEMENTATION

The implementation of the Public Schools Facilities Element will involve numerous activities. The most extensive of these will be the implementation of the provisions contained in the Interlocal Agreement for Coordinated Planning and School Concurrence. The Public School Facilities Element's implementation is contingent upon the implementation of the other elements of the comprehensive plan.

Overall implementation responsibility rests with the County planning staff. The County staff will bear the primary role of executing the Interlocal Agreement. The planning staff must also provide the local planning agency, the School District, and the Board of County Commissioners the information and analysis upon which their actions and decisions will be based. The supportive plan implementation actions and responsibilities of the Town and other non-exempt municipalities are shown in Table 12.14.

<u>Table 12.18: Public School Facilities Element Implementation Matrix</u>				
<u>POLICY #</u>	<u>TYPE OF ACTION</u>	<u>RESPONSIBILITY</u>	<u>TIMING</u>	<u>CAPITAL EXPENDITURE</u>
<u>1.1</u>	<u>Establish School Level of Service (LOS)</u>	<u>School District/ Municipalities/ County Planning Dept.</u>	<u>2008</u>	<u>No</u>
<u>1.2</u>	<u>Establish SSAs</u>	<u>School District/ Municipalities/ County Planning Dept.</u>	<u>2008, then ongoing</u>	<u>No</u>
<u>1.3</u>	<u>Procedures to modify SSAB</u>	<u>School District/ Municipalities/ County Planning Dept.</u>	<u>2008, then ongoing</u>	<u>No</u>
<u>2.1</u>	<u>Approval of residential development</u>	<u>School District/ Municipalities/ County Planning Dept.</u>	<u>2008, then ongoing</u>	<u>No</u>
<u>2.2</u>	<u>Residential exemptions</u>	<u>School District/ Municipalities/ County Planning Dept.</u>	<u>2008, then ongoing</u>	<u>No</u>
<u>2.3</u>	<u>Types of SCADLs and vesting stages</u>	<u>School District/ Municipalities/ County Planning Dept.</u>	<u>2008, then ongoing</u>	<u>No</u>
<u>2.4</u>	<u>School concurrency review process</u>	<u>School District/ Municipalities/ County Planning Dept.</u>	<u>2008, then ongoing</u>	<u>No</u>
<u>2.5</u>	<u>Proportionate share mitigation</u>	<u>School District/ Municipalities/ County Planning Dept.</u>	<u>2008, then ongoing</u>	<u>No</u>
<u>2.6</u>	<u>Enforceable binding agreement</u>	<u>School District/ Municipalities/ County Planning Dept.</u>	<u>2008, then ongoing</u>	<u>No</u>
<u>2.7</u>	<u>School impact fees/vesting of residential development</u>	<u>School District/ Municipalities/ County Planning Dept.</u>	<u>2008, then ongoing</u>	<u>No</u>
<u>2.8</u>	<u>School District and County notifications for issuance of residential building permits and CO's.</u>	<u>School District/ Municipalities/ County Planning Dept.</u>	<u>2008, then ongoing</u>	<u>No</u>

3.1	<u>Infrastructure needs identification</u>	<u>BCC/municipalities/School Board</u>	<u>2008, then ongoing</u>	<u>Yes</u>
3.1	<u>School Board agreement on off-site improvements</u>	<u>BCC/municipalities/School Board</u>	<u>2008, then ongoing</u>	<u>No</u>
3.3	<u>School sites near residential</u>	<u>BCC/municipalities/School Board</u>	<u>2008, then ongoing</u>	<u>No</u>
3.4	<u>Co-location with public facilities</u>	<u>School-District/ Municipalities/ County Planning Dept.</u>	<u>2008, then ongoing</u>	<u>No</u>
3.5	<u>SPTAC to monitor concurrency</u>	<u>School-District/ Municipalities/ County Planning Dept.</u>	<u>2008, then ongoing</u>	<u>No</u>
3.6	<u>LDC amended</u>	<u>Municipalities/ Planning Dept</u>	<u>2008</u>	<u>No</u>
3.7	<u>Emergency preparedness</u>	<u>School-District/ Municipalities/ County Planning Dept.</u>	<u>2008, then ongoing</u>	<u>No</u>
3.8	<u>Consistency between County's Comp Plan and School District's Long Range Public School Facilities Map</u>	<u>School-District/ Municipalities/ County Planning Dept.</u>	<u>2008, then ongoing</u>	<u>No</u>
4.1	<u>Incorporate School District capital improvement plan tables</u>	<u>School-District/ Municipalities/ County Planning Dept.</u>	<u>2008, then ongoing</u>	<u>Yes (School District)</u>
4.2	<u>Annual review of PSFE & long range map series</u>	<u>School-District/ Municipalities/ County Planning Dept.</u>	<u>2008, then ongoing</u>	<u>No</u>

EVALUATION AND MONITORING PROCEDURES

To be effective, a plan must not only provide a means for implementation: the plan must also provide a mechanism for assessing its effectiveness. Generally, a plan's effectiveness can be judged by the degree to which its objectives have been met. Because objectives are measurable and have specific time frames, the plan's objectives are the benchmarks used to evaluate the plan. The planning department staff will be responsible for monitoring and evaluating the Public Schools Facilities Element on a regular basis, which involves collection of data and compilation of information regarding school capacity, and new residential development. Formal evaluation of the Public School Facilities Element will occur based on the schedule provided by the Florida Department of Community Affairs in conjunction with the formal evaluation and appraisal of the entire comprehensive plan. In addition to assessing progress, the evaluation and appraisal process will also be used to determine whether the Public School Facilities objectives should be modified or expanded. In this way, the monitoring and evaluation of the Public School Facilities Element will not only provide a means of determining the degree of success of the plan's implementation; it will also provide a mechanism for evaluating needed changes to the plan element.

***CHAPTER 9: GENERAL MONITORING AND REVIEW CRITERIA WAS LAST UPDATED IN ORD. 549 AND STRUCK IN ITS ENTIRETY.**

Chapter 9: General Monitoring And Review Criteria

Goals, Objectives and Policies

~~GOAL 9-1. GENERAL MONITORING AND EVALUATION CRITERIA. This section stipulates procedures for implementing the required procedures for monitoring, updating and evaluating the Goals, Objectives and Policies of the Comprehensive Plan every seven (7) years pursuant to Statutory requirements.~~

~~OBJECTIVE 9-1.1. ROLE OF THE PLANNING ZONING AND VARIANCE BOARD IN PLAN EVALUATION AND UPDATES. The Planning, Zoning and Variance Board shall monitor and oversee the effectiveness and status of the Comprehensive Plan and recommend to the Town Council such changes in the Comprehensive Plan as may, from time to time, be required.~~

~~Policy 9-1.1. General Procedures. The monitoring and evaluation of the Comprehensive Plan shall be a continuous and ongoing process complying with the procedures outlined in 163 F.S.~~

~~Policy 9-1.2. Citizen Participation. The process of Comprehensive Plan evaluation and update shall include a public hearing before the Planning, Zoning and Variance Board and the Town Council, respectively, prior to adopting the final report. The public hearing shall be duly noticed and citizen input shall be encouraged.~~

~~OBJECTIVE 9-1.2. CRITERIA FOR CONTINUING EVALUATION OF COMPREHENSIVE PLAN ELEMENTS. In evaluating each Element of the Comprehensive Plan, the Planning, Zoning and Variance Board shall use the following general criteria as well as any more specific criteria contained in respective elements of the Plan.~~

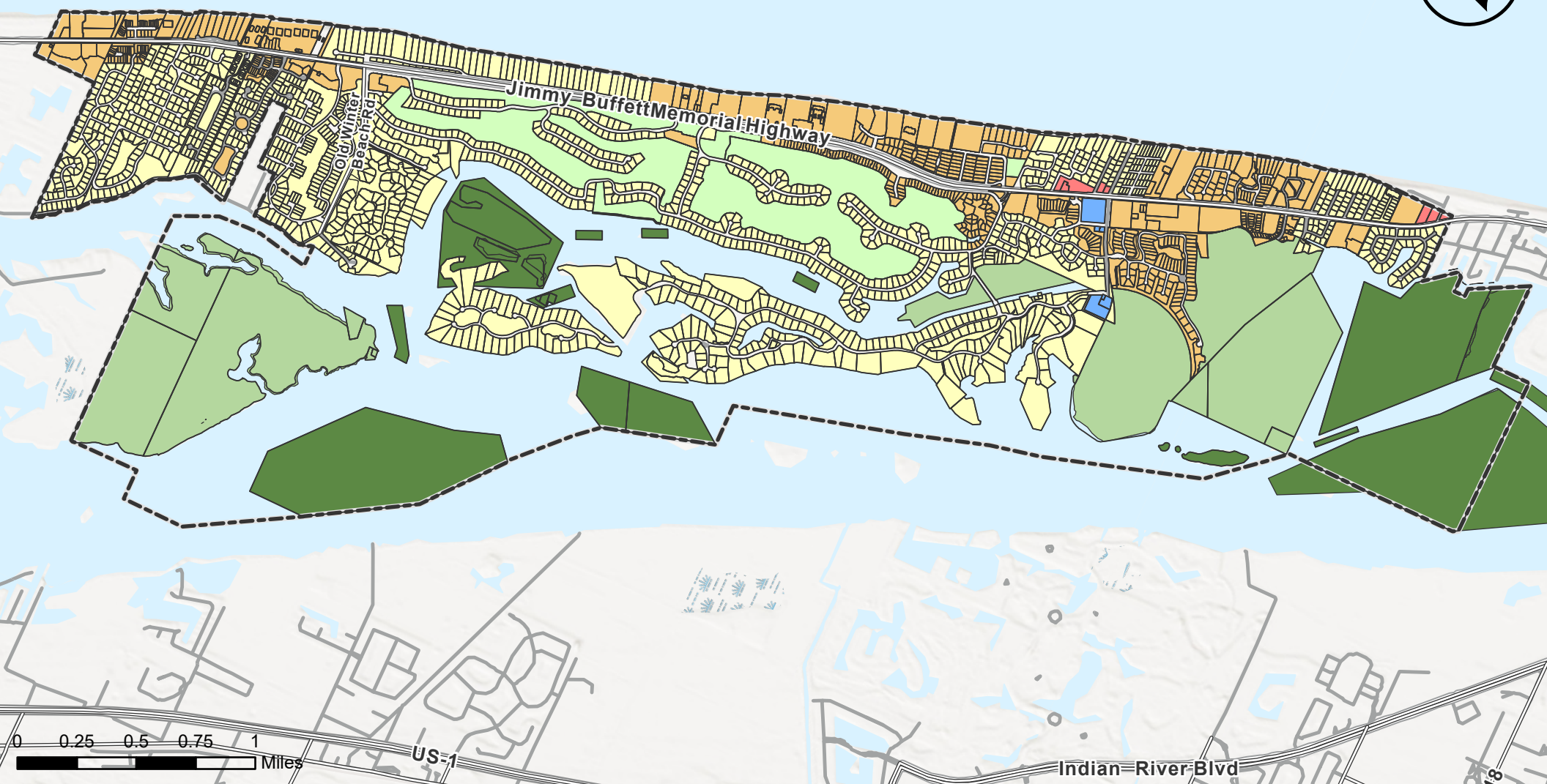
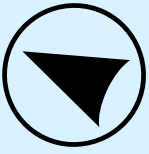
~~Policy 9-2.1. Analyze the Comprehensive Plan for amendments. During the Evaluation and Appraisal Report period the Comprehensive Plan shall be analyzed for amendments that are necessary to reflect changes in State requirements.~~

~~Policy 9-2.2. Local Conditions: Updates to the Comprehensive Plan shall identify local conditions such as the location and distribution of land uses and related adverse physical, economic, social, or environmental impacts including accomplishments or unanticipated problems and opportunities~~

~~Policy 9-2.3. Recommended Amendments. The Evaluation and Appraisal Report shall identify recommended new or modified goals, objectives, or policies needed to resolve problems or issues identified during the amendment process.~~

EXHIBIT B

APPENDIX A: FUTURE LAND USE MAP SERIES

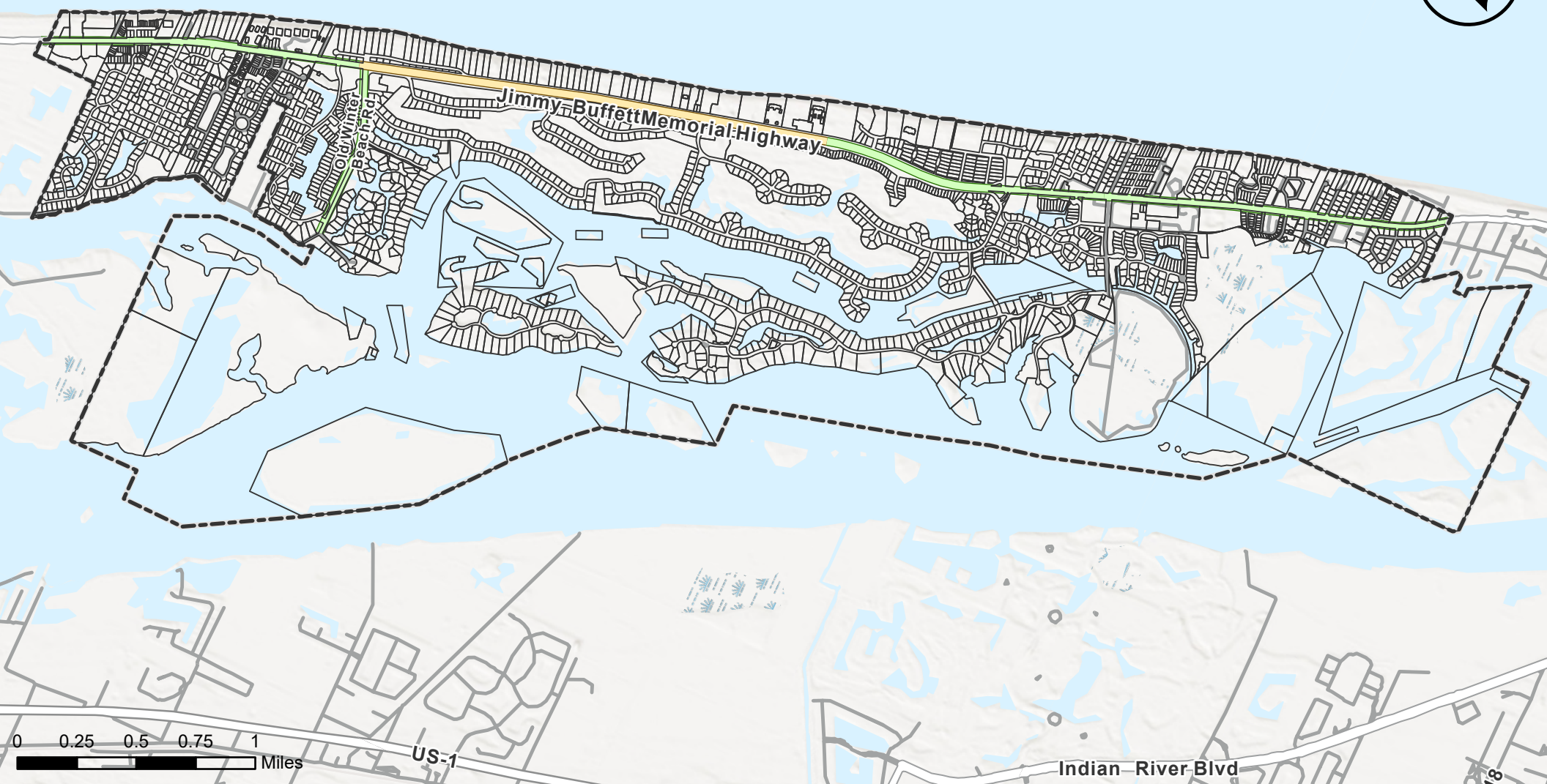
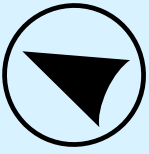


- Legend**
- Town Boundary
 - Town Parcels
 - Low Density Residential Development (LD)
 - Moderate Density Residential Development (MD)
 - Limited Commercial Development (CL)
 - Institutional Services (INS)
 - Open Space and Recreation (OSR)
 - Residential Conservation/ Environmentally Sensitive Lands (RC/ES)
 - Residential Conservation/ Environmentally Sensitive Islands (RC/ESI)

Town of Indian River Shores Future Land Use Map



Data generated by Kimley-Horn in February 2025 based on Town Ordinances.



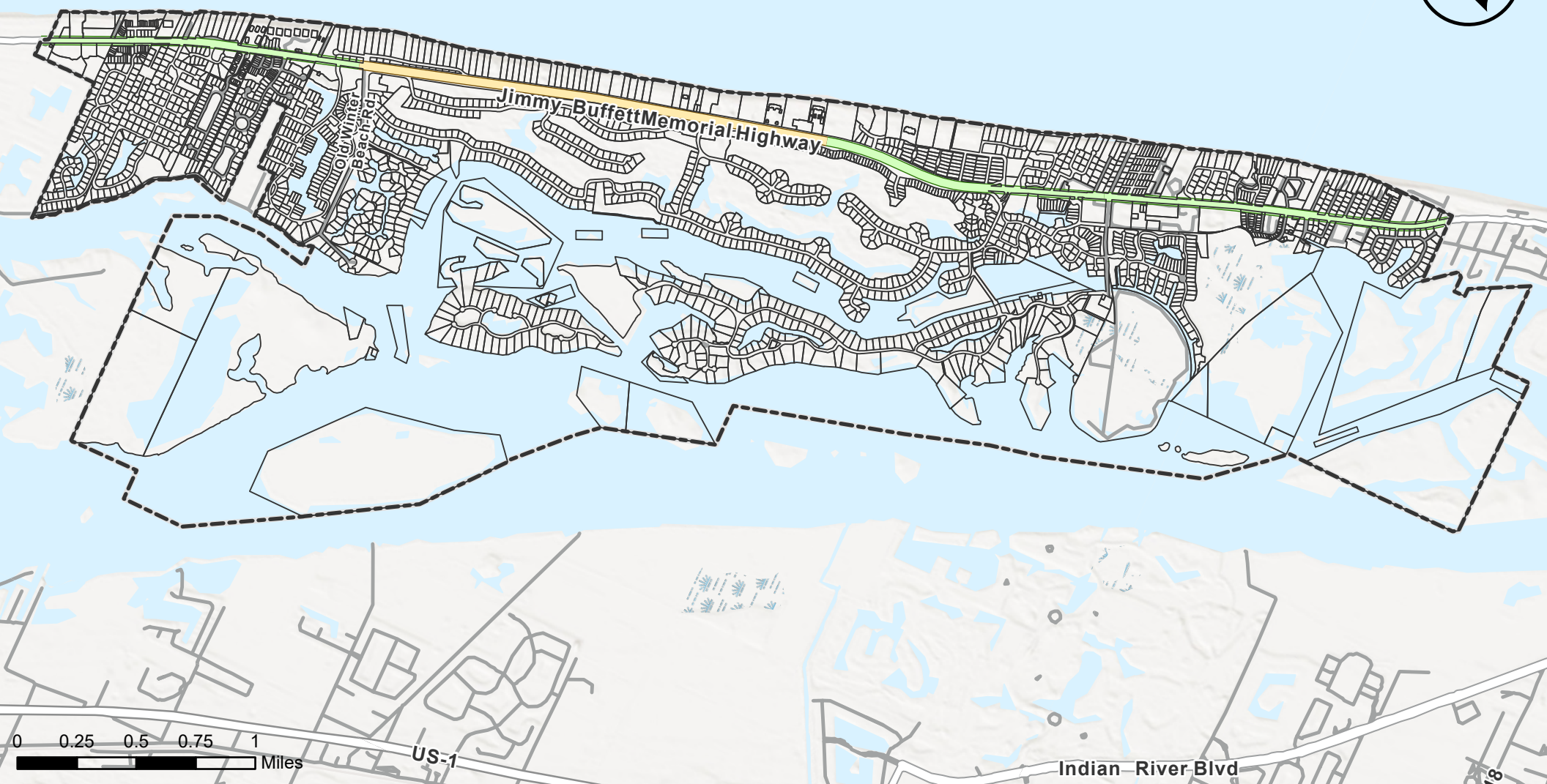
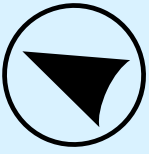
- Legend**
- Town Boundary
 - Town Parcels
 - LOS C
 - LOS D

Town of Indian River Shores Transportation Facilities 2025 Level of Service Map



Kitley»Horn

Data obtained in January 2025 from FDOT.



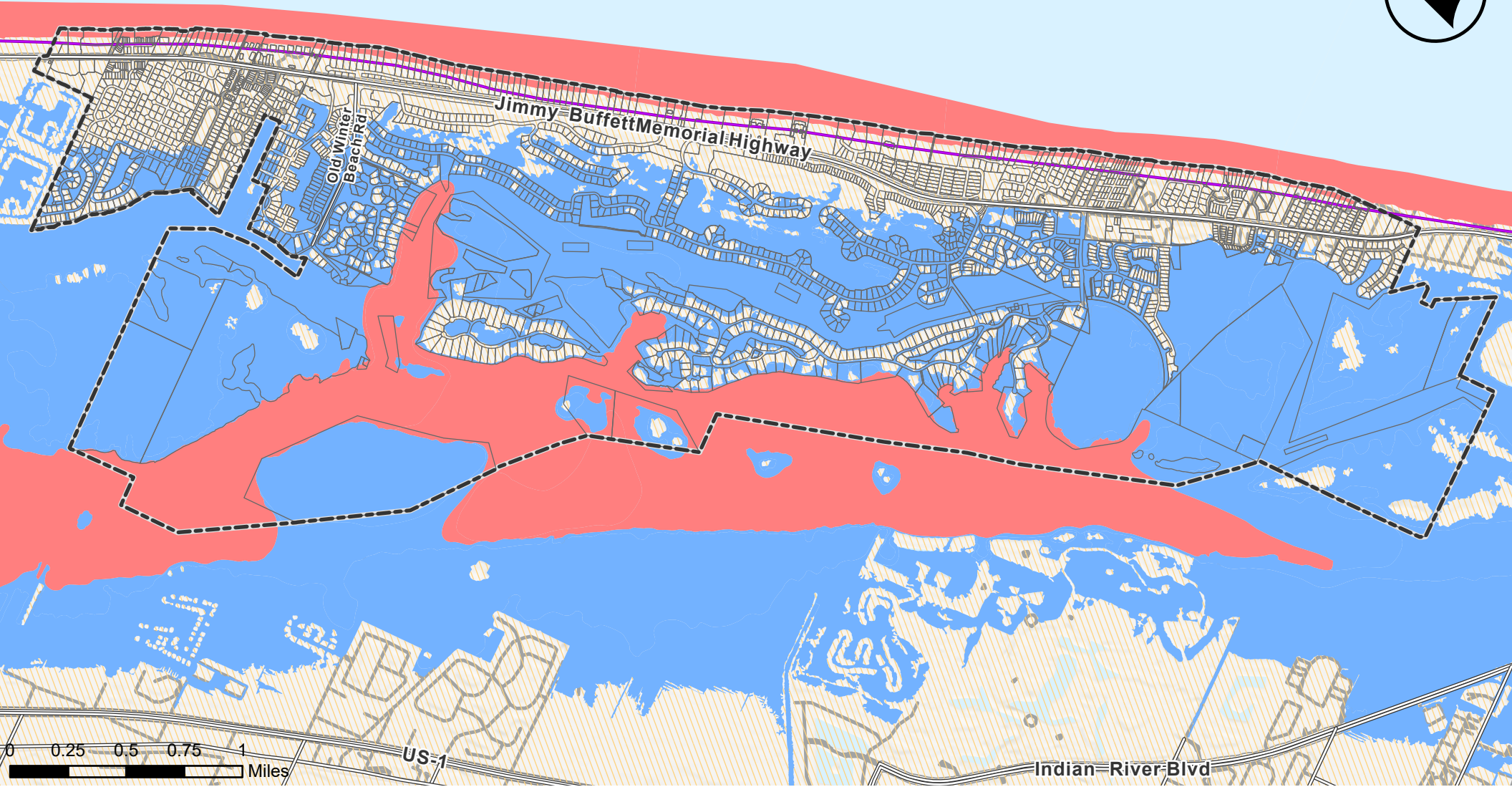
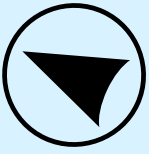
- Legend**
- Town Boundary
 - Town Parcels
 - LOS C
 - LOS D

Town of Indian River Shores Transportation Facilities 2045 Level of Service Map



Kitley»Horn

Data obtained in January 2025 from FDOT.



Legend

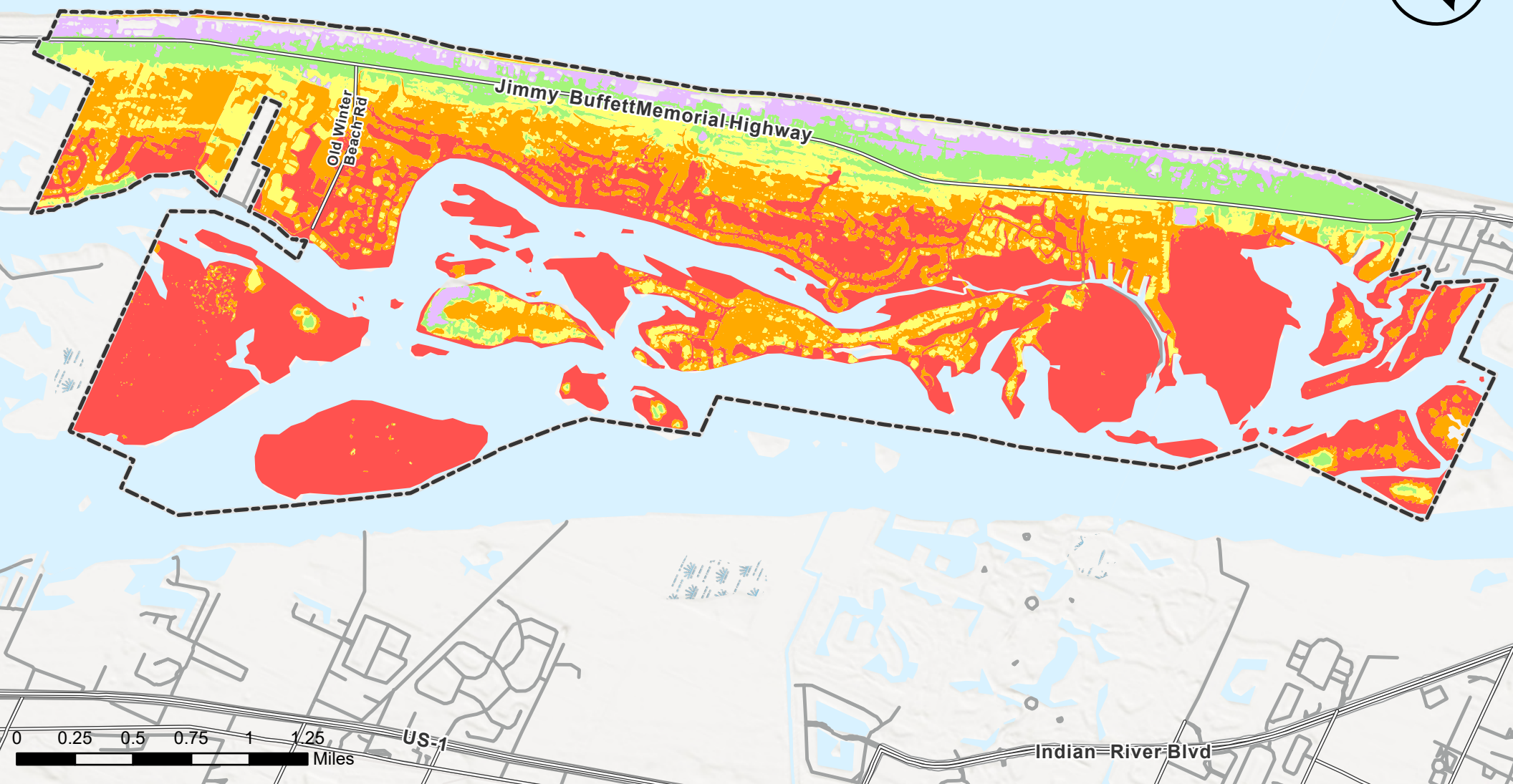
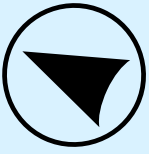
- Town Boundary
- Town Parcels
- Coastal Construction Control Line (CCCL)
- AE
- VE
- X

Town of Indian River Shores FEMA Flood Zones Map









Kimley»Horn

Data obtained in January 2025 from Indian River County.



Legend

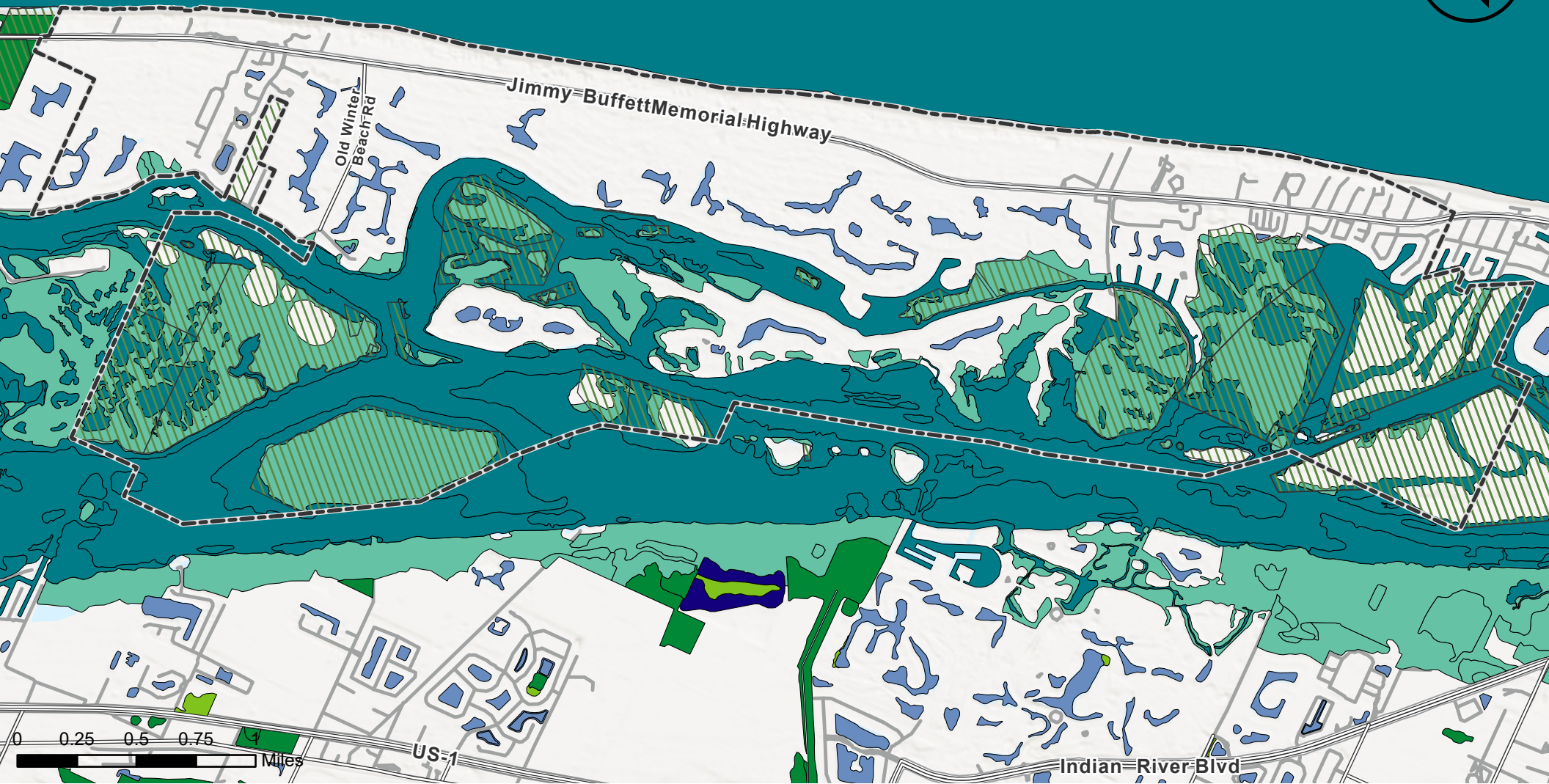
-  Town Boundary
-  CAT 1
-  CAT 2
-  CAT 3
-  CAT 4
-  CAT 5

Town of Indian River Shores Coastal High Hazard Area Map



Kitley»Horn

Data obtained in January 2025 from Indian River County.



Legend

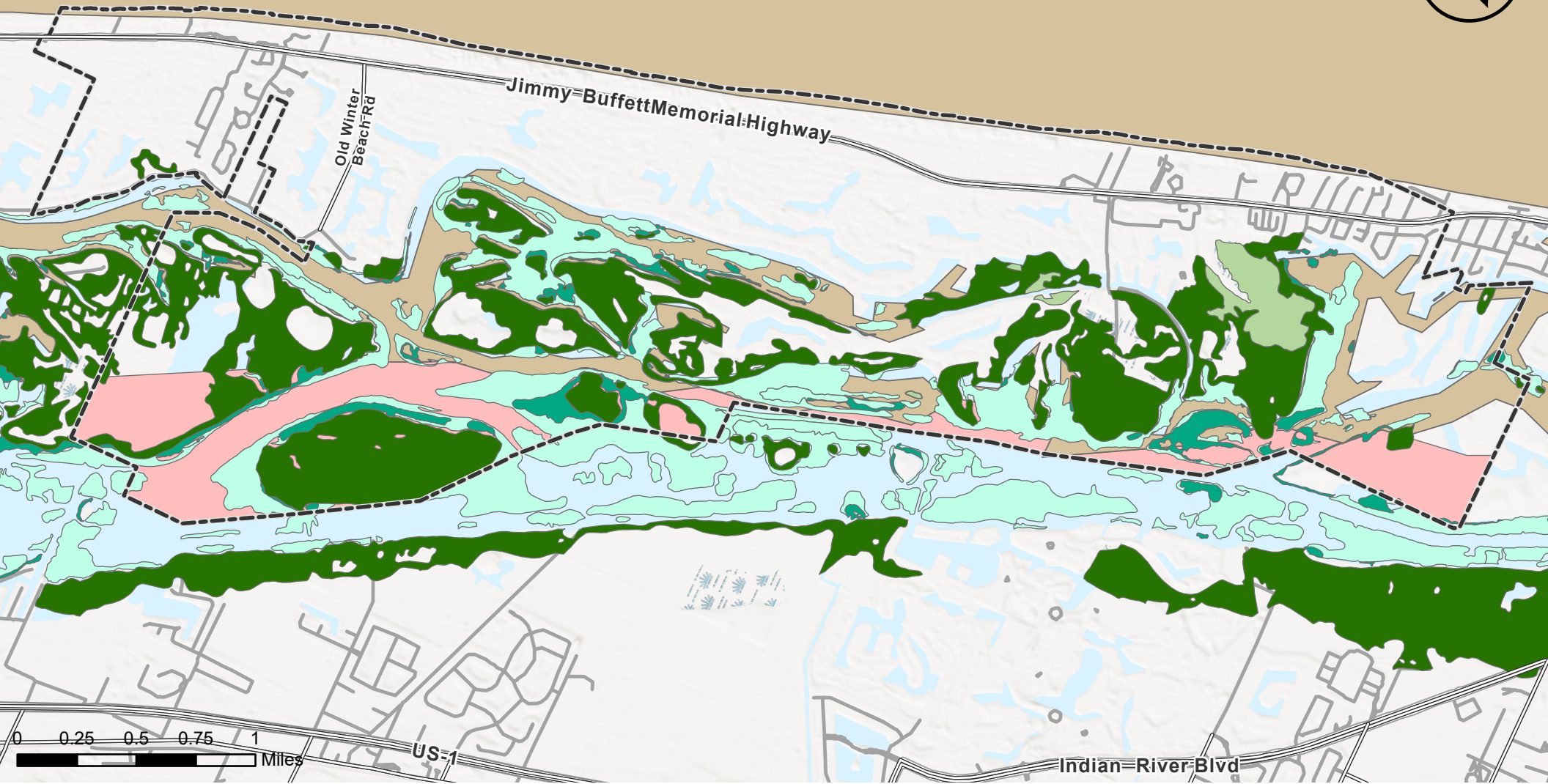
- Town Boundary
- Conservation_Lands
- Estuarine and Marine Deepwater
- Estuarine and Marine Wetland
- Freshwater Emergent Wetland
- Freshwater Forested/Shrub Wetland
- Freshwater Pond
- Lake

Town of Indian River Shores Wetlands and Conservation Lands Map

Data obtained in February 2025 from US Fish and Wildlife Service National Wetlands Inventory.



Kitley >> Horn



Legend

- Town Boundary
- Aquatic Vegetation
- Mangroves
- Marsh
- Oysters
- Sand
- Seagrass

Town of Indian River Shores Sensitive Marine Habitat



Kitley»Horn

Data obtained in January 2025 from NOAA through the Environmental Response Management Application.



THE TOWN OF INDIAN RIVER SHORES

AGENDA ITEM

TO: Town Council

FROM: James Harpring, JD
Town Manager

DATE: May 18, 2026

SUBJECT: Ordinance No. 595 - Penalties

BACKGROUND:

The Town has adopted certain regulations related to signs. Proposed amendments to the ordinance will add definitions and a penalty structure for clarity in administration.

RECOMMENDATION:

Approve Ordinance No. 595 on First Reading

ATTACHMENTS :

Ordinance No. 595 - Signs



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ORDINANCE NO. 595

AN ORDINANCE OF THE TOWN OF INDIAN RIVER SHORES AMENDING CHAPTER 164. SIGNS OF THE TOWN'S CODE OF ORDINANCES AMENDING SECTION 164.00 DEFINITIONS; ADDING SEC. 164.06 TEMPORARY SIGNS (D) ADVERTISING SIGN OR STRUCTURE; ADDING SEC. 164.15 VIOLATIONS AND SECTION 164.16 PENALTIES PROVIDING FOR APPLICABILITY AND INCLUSION; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN ECONOMIC IMPACT ESTIMATE; PROVIDING FOR SCRIVENER'S ERRORS AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Chapter 164, Code of Ordinance, regulates the placement of signs within the Town and is being amended to regulate advertising signs, outline enforcement actions and establish penalties for violations of the code; and

NOW THEREFORE, BE IT ORDAINED by the Town Council of the Town of Indian River Shores, Florida:

SECTION 1. Revisions

Sec. 164.00 Definitions.

Sign

(7). Sign. Advertising sign or structure. A sign or structure installed for advertising purposes, with or without any advertisement display thereon, situated upon or attached to real property upon which any poster, bill printing, painting, device or other advertisement of any kind whatsoever may be placed, posted, painted, tacked, nailed, or otherwise fastened, affixed, or displayed; provided, however, that such term shall not include buildings.

Sec. 164.06. Temporary Signs.

(D). Advertising sign or structure
Signs or structures installed for advertising purposes situated or attached upon real property are prohibited.

Sec. 164. 15 . - Violation

Signs placed on public property in violation of Chapter 164 or any other ordinance, including temporary signs placed on public property in violation of Section 164.06 may be immediately removed by the town. Such signs need not be stored and may be immediately and permanently disposed of by the town, provided, however, that if the sign is determined by the town, it its sole discretion, to have an approximate value of \$500.00 or more, and bears

the name, address, and phone number of the owner, the town shall attempt to notify the sign owner and/or business and the sign shall be removed by the owner and/or business, or retrieved at the town hall within five business days of notification. If the sign is not timely removed or retrieved from the town hall, or the town cannot make contact with the owner and/or business after a reasonable attempt, the town may dispose of the sign in any manner deemed appropriate by the town. Nothing in this chapter shall prevent the town from taking any other lawful action consistent with the ordinances of the town as well as the state statutes necessary to prevent or remedy any violation.

Sec. 164.16. - Penalty for violation of chapter.

Unless otherwise specified, any person or business who shall violate any of the terms, provisions or conditions of this chapter shall, be punished by a fine as follows:

- First Offense: _____ Warning
- Second offense: _____ \$100.00
- Repeat offenses thereafter: _____ \$500.00

SECTION 2. Business Impact Statement

Pursuant to Section 166.041 (4), Florida Statutes, the Town is required to prepare a business impact estimate for this proposed ordinance. The proposed ordinance does not fall within one of the identified exceptions for a Business Impact Estimate. However, there is no direct economic on private, for-profit businesses in the by this proposed ordinance. The purpose of Ordinance No. 594 is to safeguard the public health, safety and welfare of the residents of the Town by ensuring the administrative and operational structure of the Town is commensurate with the needs of the residents.

SECTION 3. Conflicts

All ordinance or parts of Ordinances in conflict with any of the provisions of this Ordinance are hereby repealed to the extent of the conflict.

SECTION 4. Severability

In the event that any portion of this Ordinance is determined to be invalid, illegal, or unconstitutional by a court of competent jurisdiction, such a decision shall in no matter affect the remaining portions of sections of this Ordinance which shall remain in full force and effect.

SECTION 5. Effectivity

This Ordinance shall take effect as provided by state law within ten (10) days of adoption.

1st Reading: May 28, 2026

Published: June 7, 2026

2nd Reading: June 22, 2026

I HEREBY CERTIFY that the foregoing Ordinance was approved by the Town Council of the Town of Indian River Shores, Florida, upon second and final reading this 28th day of May, 2026.

Brian T. Foley, Mayor

Attest:

Janice C. Rutan, Town Clerk



THE TOWN OF
INDIAN RIVER SHORES

AGENDA ITEM

TO: Town Council

FROM: James Harpring, JD
Town Manager

DATE: May 18, 2026

SUBJECT: Ordinance No. 596 – Town Seal

BACKGROUND:

The Town of Indian River Shores has implemented a new Town Seal. Formal action through enactment of Ordinance No. 596 by the Town Council is requested to protect and regulate use of the Town Seal.

RECOMMENDATION:

Approve Ordinance No. 596 on First Reading

ATTACHMENTS :

Ordinance No. 596 – Town Seal



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ORDINANCE NO. 596

AN ORDINANCE OF THE TOWN OF INDIAN RIVER SHORES AMENDING TITLE III – ADMINISTRATION ARTICLE 1. GENERAL PROVISIONS BY ADDING SECTION 30.03 DESIGNATING A TOWN SEAL PROVIDING FOR APPLICABILITY AND INCLUSION; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN ECONOMIC IMPACT ESTIMATE; PROVIDING FOR SCRIVENER'S ERRORS AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Title III, Administration of the Town Code of Ordinances, Article I, General Provisions establishes departments within the Town and general responsibilities of those departments; and

WHEREAS, Title III, Administration of the Town Code of Ordinances, Article I, General Provisions is being amended to include the designation of a Town Seal and;

WHEREAS, the former Town Seal, or close imitations of it, had been used by multiple outside agencies, Ordinance No. 596 will formally adopt protections to maintain the integrity of the Town’s official symbol.

NOW THEREFORE, BE IT ORDAINED by the Town Council of the Town of Indian River Shores, Florida:

SECTION 1. Revisions

Sec. 30.03 Designation of the Town Seal

(a) Designation. The image of the seal shown on Exhibit "A" attached hereto and made a part hereof, with or without the legend "Town of Indian River Shores," is hereby designated the official Town Seal for the Town of Indian River Shores.

(b) Custodian. The Town Clerk shall be the custodian of the Town Seal and, the Town Clerk, or designee, shall be authorized to affix the Seal to documents for the purposes of attesting, certifying or otherwise formalizing any ordinance, resolution, record, letter or other document or preparing official certified copies of same. The Town Clerk is hereby authorized to permit facsimiles or reproductions of the official Town Seal for municipal purposes, including, but not exclusive of, town and public officials stationary, business cards, proclamations, certificates, official record books, code books, and forms, badges and pins and all other promotional material to be used by the Town for municipal purposes.

(c) Use prohibition/restrictions. No person shall manufacture, use, display, or otherwise employ any facsimile or reproduction of the Town Seal except by Town officials, agents or employees in the performance of their official duties, without the express approval of the Town Manager. Any unauthorized use shall constitute a violation of this provision and may be punished by a court of competent jurisdiction up to the maximum penalty permitted by law.

SECTION 2. Business Impact Statement

Pursuant to Section 166.041 (4), Florida Statutes, the Town is required to prepare a business impact estimate for this proposed ordinance. The proposed ordinance does not fall within one of the identified exceptions for a Business Impact Estimate. However, there is no direct economic on private, for-profit businesses in the by this proposed ordinance. The purpose of Ordinance No. 596 is to safeguard the public health, safety and welfare of the residents of the Town by ensuring an Official Town Seal is designated and not subject to misuse or misrepresentation.

SECTION 3. Conflicts

All ordinance or parts of Ordinances in conflict with any of the provisions of this Ordinance are hereby repealed to the extent of the conflict.

SECTION 4. Severability

In the event that any portion of this Ordinance is determined to be invalid, illegal, or unconstitutional by a court of competent jurisdiction, such a decision shall in no matter affect the remaining portions of sections of this Ordinance which shall remain in full force and effect.

SECTION 5. Effectivity

This Ordinance shall take effect upon adoption.

1st Reading: May 28, 2026

Published: June 7, 2026

2nd Reading: June 22, 2026

I HEREBY CERTIFY that the foregoing Ordinance was approved by the Town Council of the Town of Indian River Shores, Florida, upon second and final reading this 28th day of May, 2026.

Brian T. Foley, Mayor

Attest:

Janice C. Rutan, Town Clerk

EXHIBIT A





BRIAN T. FOLEY
MAYOR

BOB AUWAERTER
VICE MAYOR

JESSE L. "SAM" CARROLL, JR.
COUNCILMEMBER

JAMES ALTIERI
COUNCILMEMBER

PETER A. TEDESKO
COUNCILMEMBER

JAMES HARPRING, JD
TOWN MANAGER

JANICE C. RUTAN
TOWN CLERK

PETER J. SWEENEY, JR
TOWN ATTORNEY

To: Town Manager Jim Harpring

From: Fire Marshal/Code Enforcement Official/Building Inspector, Jacob Maikranz

Date: April 17, 2026 – May 14, 2026

Ref: Monthly Code Enforcement Report

Annual Fire and Life Safety Inspections

An annual fire and life safety inspection was completed at 400 Beach Road and John’s Island Beach Club, Golf Club, Administrative Offices and Amenities. Fire Code violations were observed; inspection reports were emailed to the respective property management companies with notice of 30 days to rectify the violations and become compliant with the Fire Code.

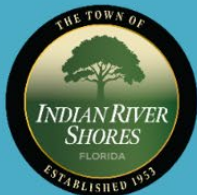
The Knox Boxes and Gate Access Switches (if available) located at 400 Beach Road and John’s Island Beach Club, Administrative Offices and Amenities were inspected during the annual fire inspection with no discrepancies. Access keys within the Knox Boxes are up to date. The Golf Club Knox Box was not accessible due to active construction.

Other:

Written notices were sent to the Baytree and Indian Trails HOA Board Members and Property Management companies regarding low-lying trees that are hindering fire department access within the communities. The obstructions are a violation of the Florida Fire Prevention Code (FFPC) and Town Ordinance. **UPDATE:** Multiple site meetings and walkthrough’s were scheduled and completed with the HOA Board Members from Baytree and Indian Trails, discussing fire department access and requirements of the FFPC. The Baytree community has since become compliant with the FFPC. Indian Trails is currently in the process of trimming the low-lying trees to accommodate the fire apparatuses.

Sign Violations

Eight (8) Real Estate and Seven (7) Advertisement signs were removed from Highway A1A’s right-of-way. The real estate agents and owners of the advertisement signs were notified, and a written warning with a copy of the Town’s Ordinance was issued.



Ordinance Complaints

Code complaint received regarding a wood fence that was constructed without a building permit and that was installed incorrectly. A Stop Work Order was posted on the property, and a civil violation notice was sent to the property owner via certified mail to rectify the violation.

Short-Term Vacation Rentals

No other properties within the Town were found to be in violation of the Towns STVR Ordinance per the Rentalscape report on 5/14/2026.

Lien Requests

Between April 17, 2026 through May 14, 2026, nineteen (19) lien requests were processed.

Sea Turtle Season

The first sea turtle lighting survey was completed April 28, 2026, by a third-party vendor, Ecological Associates Inc. (EAI), and seven (7) properties were in violation of the Town Ordinance. Educational/informational letters were sent to the property owners providing helpful tips, ordinance requirements, and contact information for local agencies.

Other

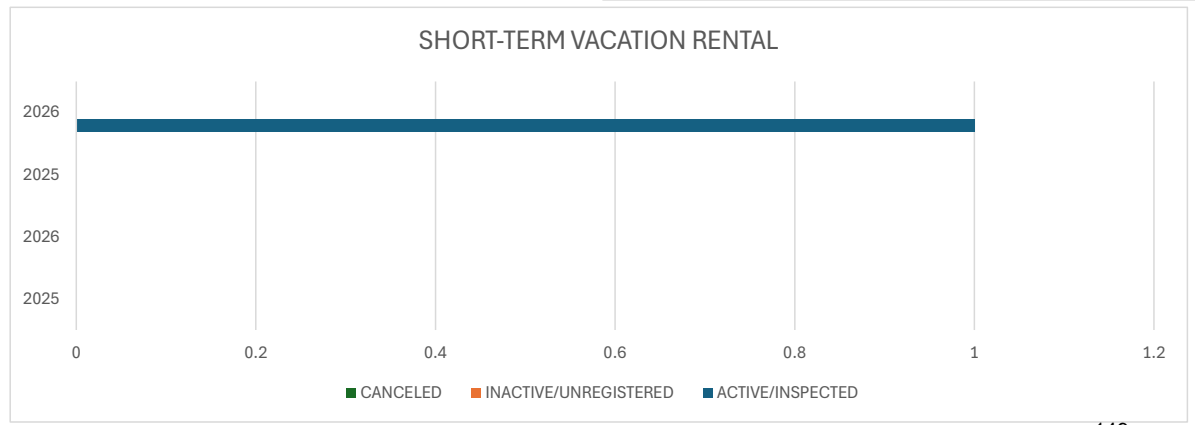
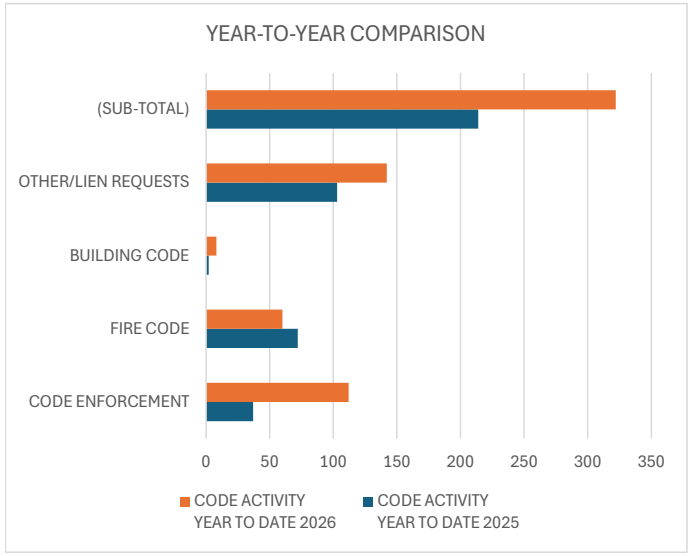
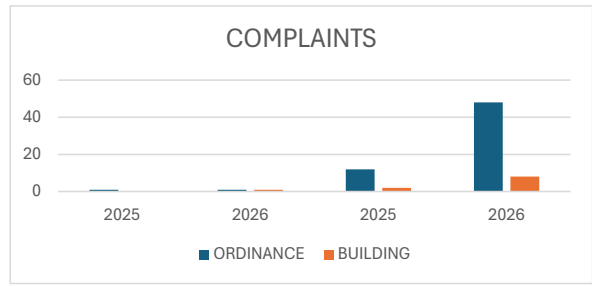
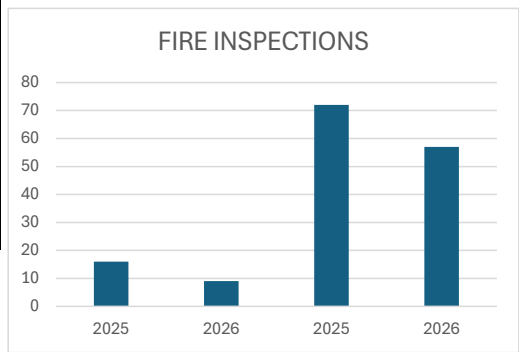
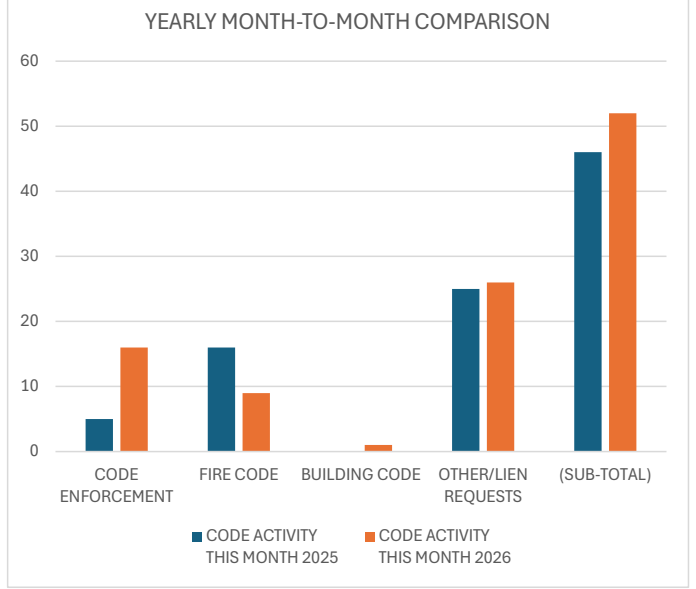
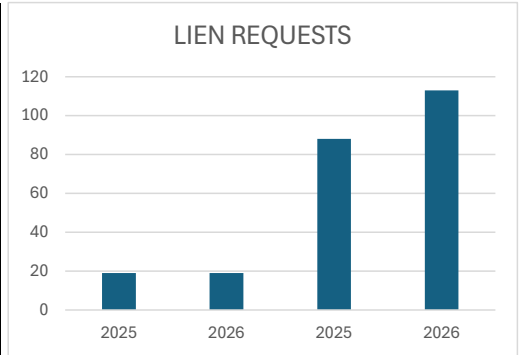
Reviewed fire plans, building permits and plans for code compliance for renovated, altered, existing and new buildings. After review, on-site inspections were requested and scheduled by the contractors. All inspections were conducted, and re-inspections were scheduled, if needed, when deficiencies were observed. All properties met compliance after re-inspection.

A Stop Work Order was issued to a resident for work completed prior to permit issuance. Violation of the Florida Building Code 150.12.

MAY (2026)

VIOLATIONS AND LIEN REQUESTS	CODE ACTIVITY THIS MONTH		CODE ACTIVITY YEAR TO DATE	
	2025	2026	2025	2026
CODE ENFORCEMENT	5	16	37	112
FIRE CODE	16	9	72	60
BUILDING CODE		1	2	8
OTHER/LIEN REQUESTS	25	26	103	142
(SUB-TOTAL)	46	52	214	322

BREAKDOWN	ACTIVITY BY MONTH		ACTIVITY BY YEAR	
COMPLAINTS	2025	2026	2025	2026
ORDINANCE	1	1	12	48
BUILDING		1	2	8
SIGNS	2025	2026	2025	2026
ADVERTISEMENT		7	5	14
REAL ESTATE	4	8	20	55
STVR	2025	2026	2025	2026
ACTIVE/INSPECTED				1
INACTIVE/UNREGISTERED				
CANCELED				
LIEN REQUESTS	2025	2026	2025	2026
REQUESTS	19	19	88	113
FIRE INSPECTIONS	2025	2026	2025	2026
FIRE INSPECTIONS	16	9	72	57
OTHER	2025	2026	2025	2026
	6	7	15	26
TOTAL	2025	2026	2025	2026
	46	52	214	322





THE TOWN OF INDIAN RIVER SHORES

TO: Town Council
James Harpring, Town Manager

FROM: Lucy Scheidt, Facilities Director

DATE: May 20, 2026

SUBJECT: Facilities Department Report

NPDES MS4 and BMAP

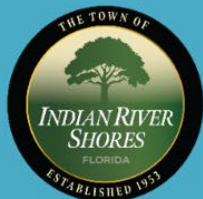
- Completed inspection post-rain events and prepared stormwater pollution prevention plan reports for compliance with NPDES MS4 permit requirements:
 - April 20th
 - May 11th
 - May 12th
 - May 13th
- SCA completed second quarter street sweeping on May 8th.
 - 2.5 cubic yard of debris collected.

CEMETERY

- Landscaping project completed – removal of dead bushes from hedge; install of twelve 15-gallon Viburnum Suspensum.

BEACH, SR A1A AND ROADS

- Communication with FCG and subcontractor (Equix).
- Monitoring of project started on May 11th.
 - Installation of gas main extension along Fred Tuerk and into the Estuary.
 - Scope of work includes tying into existing gas main on the east side of A1A north of Beachcomber and extending west past Town Hall and Public Safety Building to a point immediately adjacent to the entrance of The Estuary, and then into the community from that point.
 - This line will also be extended to the Sago Palm gate at John's Island to serve the Riverside area of JI once FCG has a permit to cross the canal at the west end of Fred Tuerk.



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TOWN HALL, PSD AND TOWN LOT

- Town Hall landscaping project completed - removal of dead shrubs; replaced with sod.
- Public Safety Department landscaping project completed – removal of hedge; replaced with oleanders.
- Coordination with electrician for replacement of exterior light fixtures on second story of fire truck bay.

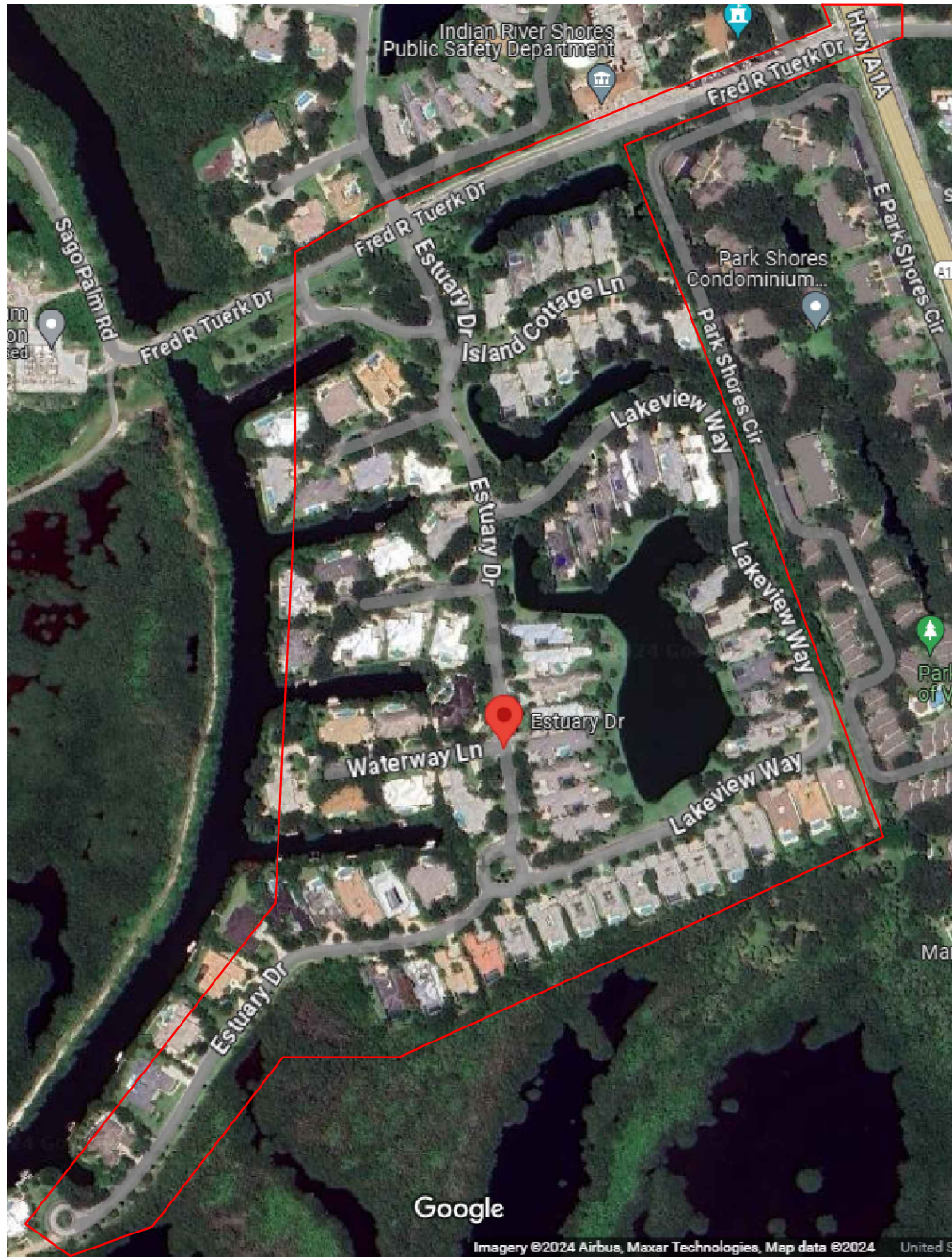




BCA 413710 - THE ESTUARY

CONSTRUCTION SET

PERMITTING ORGANIZATIONS
 - TOWN OF INDIAN RIVER SHORES
 - FLORIDA DEPARTMENT OF TRANSPORTATION



SHEET INDEX	
SHEET NUMBER	SHEET TITLE
1 OF 12	COVER
2 OF 12	GENERAL NOTES
3 OF 12	OVERVIEW
4 OF 12	UTILITY DESIGN 1
5 OF 12	UTILITY DESIGN 2
6 OF 12	UTILITY DESIGN 3
7 OF 12	UTILITY DESIGN 4
8 OF 12	UTILITY DESIGN 5
9 OF 12	UTILITY DESIGN 6
10 OF 12	UTILITY DESIGN 7
11 OF 12	UTILITY DESIGN 8
12 OF 12	UTILITY DESIGN 9



PLANS PREPARED BY:
 FLORIDA CITY GAS
 DEPARTMENT OF ENGINEERING DESIGN
 4180 US-1, ROCKLEDGE, FL 32955

NOTE: THE SCALE OF THESE PLANS MAY HAVE CHANGED DUE TO REPRODUCTION

	COORDINATOR: CLARK	SEC:	TWP:	RGE:	DATE	REV#	REVISION	PROJECT NAME:	SHEET TITLE:	SHEET NUMBER:
	DIVISION: IRC	DGFC#:	IO #:					BCA 413710 - THE ESTUARY	OVERVIEW	1 OF 12
	DESIGNED BY: SM	MAOP: 60 PSIG	SCALE: N/A							
	CHECKED BY: MT	DATE: 5/22/2024	BCA#: 413710							153
PROJECT DESCRIPTION: INSTALL 2,925' OF 4" PE MAIN VIA HDD, INSTALL 7,580' OF 2" PE MAIN VIA HDD										

GENERAL NOTES

- ALL MATERIALS AND CONSTRUCTION PRACTICES UNDER THIS PROJECT SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS, CODES AND SPECIFICATIONS OF PART 192 TITLE 49 OF THE CODE OF FEDERAL REGULATIONS (CFR) AND FLORIDA CITY GAS OPERATIONS PROCEDURE MANUAL (OPM).
- THE CONTRACTOR SHALL COORDINATE PRE-CONSTRUCTION MEETING AND MAKE CONTACT WITH THE APPROPRIATE REGULATORY AGENCY RESPONSIBLE FOR THE CORRESPONDING RIGHTS OF WAY AT LEAST TWO (2) WEEKS PRIOR TO COMMENCEMENT OF WORK.
- THE CONTRACTOR SHALL CONTACT SUNSHINE STATE ONE CALL OF FLORIDA, INC. AT 811, AT LEAST TWO (2) FULL BUSINESS DAYS PRIOR TO PROPOSED START DATE OF CONSTRUCTION.
- THE LOCATIONS OF EXISTING FACILITIES SHOWN ON PLANS ARE BASED ON A LIMITED INVESTIGATION AND/OR BEST AVAILABLE DATA PROVIDED BY APPROPRIATE UTILITY AGENCY/OWNER THROUGH SUNSHINE STATE ONE CALL OF FLORIDA, INC. DESIGN LOCATES AND SHOULD THEREFORE BE CONSIDERED APPROXIMATIONS. FLORIDA CITY GAS ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE FACILITIES SHOWN OR FOR ANY FACILITY NOT SHOWN. THE CONTRACTOR SHALL BY EXPLORATORY EXCAVATION, VERIFY THE EXACT LOCATION, TYPE, ELEVATION AND SIZE OF THE EXISTING FACILITIES PRESENT WITHIN PROPOSED WORK AREAS THAT ARE SHOWN AND NOT SHOWN ON PLANS. THE CONTRACTOR SHALL NOTIFY FLORIDA CITY GAS IMMEDIATELY WHEN CONFLICT BETWEEN PLANS AND ACTUAL CONDITIONS ARE DISCOVERED.
- WHEN APPLICABLE, EROSION AND SEDIMENTATION CONTROL DEVICES AND BEST MANAGEMENT PRACTICES (BMP) SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY, THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION STANDARDS.
- ALL TRENCH EXCAVATIONS SHALL BE PERFORMED IN FULL COMPLIANCE WITH THE PROVISIONS OF THE TRENCH SAFETY ACT & ALL OSHA STANDARDS
- RESTORATION OF PAVEMENT FOR TRENCHES AND PITS WITHIN ROADWAY SHALL BE IN ACCORDANCE WITH INDEX 307 OF THE LATEST EDITION OF THE FDOT DESIGN STANDARDS.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO MATCH OR EXCEED EXISTENT CONDITIONS.
- UNLESS OTHERWISE NOTED OR SHOWN, DEPTH OF COVER FOR PROPOSED GAS MAINS SHALL BE THREE (3) FEET. DEPTH OF COVER SHALL BE MEASURED AS THE SHORTEST DIMENSION FROM THE TOP OF THE PIPE TO THE NORMAL GROUND LEVEL.
- ALL PROPOSED GAS FACILITIES SHALL BE PRESSURE TESTED, PRIOR TO ACTIVATION, IN ACCORDANCE WITH FLORIDA CITY GAS OPM AND PART 192 TITLE 49 OF THE CFR.
- ALL PROPOSED POLYETHYLENE GAS FACILITIES SHALL HAVE TRACER WIRE INSTALLED ALONG THE PIPELINE IN ACCORDANCE WITH FLORIDA CITY GAS OPM AND PART 192 TITLE 49 OF THE CFR. UNLESS OTHERWISE NOTED, TRACER WIRE SHALL BE # 10 AMERICAN WIRE GAUGE (AWG) COATED COPPER WIRE.
- WHEN APPLICABLE, THE CONTRACTOR SHALL SUBMIT FLOW INTERRUPTION PLAN AND PROCEDURE TO FLORIDA CITY GAS AT LEAST ONE (1) WEEK PRIOR TO PROPOSED START DATE OF CONSTRUCTION.
- WHEN APPLICABLE, PRESSURE MONITORING GAUGES SHALL BE INSTALLED AND CONTINUOUSLY MONITORED BOTH UPSTREAM AND DOWNSTREAM OF EVERY PROPOSED STOPPER, IN ACCORDANCE WITH FLORIDA CITY GAS OPM AND PART 192 TITLE 49 OF THE CFR.
- THE CONTRACTOR SHALL MAINTAIN HORIZONTAL AND VERTICAL CLEARANCES BETWEEN PROPOSED FACILITIES AND EXISTING FACILITIES IN ACCORDANCE WITH FLORIDA CITY GAS OPM AND PART 192 TITLE 49 OF THE CFR.

GENERAL ABBREVIATIONS

AC	ASBESTOS CEMENT / ALTERNATING CURRENT
ADDL	ADDITIONAL
ADJ	ADJUSTABLE
AGGR	AGGREGATE
ALLOW	ALLOWABLE
APPROX	APPROXIMATE
ASPH	ASPHALT
AVE	AVENUE
AWG	AMERICAN WIRE GAUGE
BLK	BLOCK
BLDG	BUILDING
BM	BENCHMARK
BOC	BACK OF CURB
CB	CATCH BASIN
C/C	CENTER TO CENTER
C & G	CURB AND GUTTER
CFH	CUBIC FOOT
CFH	CUBIC FOOT PER HOUR
CI	CAST IRON
CL	CENTERLINE
CONC	CONCRETE
CONST	CONSTRUCTION
CU	COPPER
CY	CUBIC YARD
DBORE	HORIZONTAL DIRECTIONAL DRILL
DC	DIRECT CURRENT
DIP	DUCTILE IRON PIPE
EA	EACH
ELEV	ELEVATION
ELEC	ELECTRIC
ELL	ELBOW
EOP	EDGE OF PAVEMENT
EW	EACH WAY
EXIST	EXISTING
FG	FLORIDA CITY GAS
FM	FORCE MAIN
FT	FEET
FOC	FIBER OPTIC CABLE
GALV	GALVANIZED
GM	GAS MAIN
GV	GAS VALVE
HDPE	HIGH DENSITY POLYETHYLENE
HH	HANDHOLE
HWY	HIGHWAY
ID	INSIDE DIAMETER
IN	INCH
KV	KILOVOLTS
L	LENGTH
LAT	LATERAL
LT	LEFT
LF	LINEAL FEET
MAINT	MAINTENANCE
MATL	MATERIAL
MAOP	MAXIMUM ALLOWABLE OPERATING PRESSURE
MAX	MAXIMUM
MH	MANHOLE
M	MONUMENT LINE
MIN	MINIMUM
NAT	NATURAL
NAVD	NORTH AMERICAN VERTICAL DATUM
NGVD	NATIONAL GEODETIC VERTICAL DATUM
NO	NUMBER
NOM	NOMINAL
NOP	NORMAL OPERATING PRESSURE
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
PC	POINT OF CURVATURE
PCF	POUNDS PER CUBIC FOOT
PE	POLYETHYLENE
PI	POINT OF INTERSECTION
PL	PROPERTY LINE
PROP	PROPOSED
PRV	PRESSURE RELIEF VALVE
PSIG	POUNDS PER SQUARE INCH GAUGE
PT	POINT OF TANGENCY
PVMT	PAVEMENT
QTY	QUANTITY
RCP	REINFORCED CONCRETE PIPE
RED	REDUCER
REINF	REINFORCING
REM	REMOVE
ROW	RIGHTS OF WAY
RT	RIGHT
S/L	SERVICE LINE
SAN	SANITARY
SD	STORM DRAIN
SEW	SEWER
SF	SQUARE FEET
SS	SANITARY SEWER
SST	STAINLESS STEEL
ST	STREET
STA	STATION
STA	STEEL
TEL	TELEPHONE
THRU	THROUGH
TRANS	TRANSITION
TYP	TYPICAL
UG	UNDERGROUND
UTIL	UTILITY
VCP	VITRIFIED CLAY PIPE
WM	WATER MAIN
WT	WALL THICKNESS OR WEIGHT

MAINTENANCE OF TRAFFIC NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISIONS, INSTALLATION AND MAINTENANCE OF ALL TRAFFIC CONTROL AND SAFETY DEVICES, IN ACCORDANCE WITH THE PROJECT PLANS, SPECIFICATIONS OUTLINED IN THE LATEST EDITION OF THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) DESIGN STANDARDS (600 SERIES), THE STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AND SECTION C2 AND SECTION R19 OF THE MIAMI-DADE COUNTY PUBLIC WORKS MANUAL, AS A MINIMUM CRITERIA.
- NOTIFICATION OF LANE CLOSURES OR TEMPORARY DETOURS SHALL BE ACCOMPLISHED WITHIN 14 WORKING DAYS PRIOR TO CLOSURE OR DETOUR BY COORDINATING WITH THE APPROPRIATE REGULATORY AGENCIES RESPONSIBLE FOR THE MAINTENANCE OF THE CORRESPONDING RIGHTS OF WAY.
- THE CONTRACTOR SHALL NOTIFY LAW ENFORCEMENT, IN ACCORDANCE WITH SECTION 336.07 OF THE FLORIDA STATUTES, AND FIRE PROTECTION SERVICES TWENTY FOUR (24) HOURS IN ADVANCE OF ANY DETOUR.
- THE TRAFFIC AND TRAVEL WAYS SHALL NOT BE ALTERED BY THE CONTRACTOR TO CREATE A WORK ZONE UNTIL ALL LABOR AND MATERIAL ARE AVAILABLE FOR THE CONSTRUCTION IN THAT AREA.
- THE CONTRACTOR SHALL NOT PROPOSE AN ALTERNATIVE TRAFFIC CONTROL PLAN THAT REDUCES THE NUMBER OF TRAVEL LANES SHOWN ON THE MAINTENANCE OF TRAFFIC PLANS.
- THE CONTRACTOR SHALL IMMEDIATELY REPAIR ALL POTHoles THAT DEVELOP WITHIN THE PROJECT LIMITS AND WILL MAINTAIN A SUPPLY OF COLD MIX ASPHALT ON THE PROJECT SITE TO EXPEDITE THOSE REPAIRS.
- THE CONTRACTOR SHALL MAINTAIN ONLINE COMMUNICATION OF EXISTING OR TEMPORARY SIGNALIZATION VIA INTERCONNECT OR PHONE LINE DURING CONSTRUCTION.
- LANE CLOSURES SHALL OCCUR ONLY DURING NON-PEAK HOURS ON NON-EVENT DAYS/NIGHTS. TRAFFIC SHALL NOT BE INTERRUPTED FROM MONDAY - FRIDAY 7 TO 9 AM AND 4 TO 6 PM OR ON WEEKENDS AND HOLIDAYS. THERE SHALL BE NO INTERRUPTION OF PEDESTRIAN, BICYCLE AND VEHICULAR TRAFFIC ON ROADWAYS SURROUNDING SCHOOLS DURING SCHOOL ARRIVAL/DISMISSAL HOURS.
- CONTRACTOR SHALL MAINTAIN ACCESS TO PRIVATE PROPERTY DURING ALL STAGES OF CONSTRUCTION. LOCAL RESIDENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE GIVEN ACCESS TO THEIR PROPERTY DURING ALL STAGES OF CONSTRUCTION. LOCAL RESIDENTS INCLUDE ALL COMMERCIAL ESTABLISHMENTS AND BUSINESSES.
- CONTRACTOR SHALL REMOVE, RELOCATE, OR COVER ANY EXISTING OR PROPOSED SIGNS THAT CONFLICT WITH THE MAINTENANCE OF TRAFFIC PLANS. WHEN THE CONFLICT NO LONGER EXISTS, THE CONTRACTOR SHALL RESTORE THE SIGNS TO THEIR ORIGINAL POSITION.
- DURING ASPHALT CONSTRUCTION OPERATIONS, NO MORE THAN 1-INCH DROP-OFF BETWEEN ADJACENT TRAVEL LANES OR AT TRANSVERSE JOINTS SHALL BE ALLOWED WHEN LANES ARE OPEN TO TRAFFIC. WHERE DROP-OFF CONDITIONS EXIST, THE SIGNING FOR UNEVEN PAVEMENT SHALL BE INSTALLED FOR THE DURATION OF THE CONDITION (W8-9AP).
- ON A MULTILANE ROAD, THE CONTRACTOR MUST PROVIDE FLASHING ARROW BOARD FOR ANY LANE THAT IS CLOSED OR DIVERTED.
- TEMPORARY COLD MIX ASPHALT OR STEEL PLATES MUST BE ON THE JOB SITE WHENEVER PAVEMENT, SIDEWALK IS CUT. STEEL PLATES SHALL BE PINNED AT ALL CORNERS AND SHALL HAVE AN ASPHALT APRON CONSTRUCTED WITH A SLOPE NO GREATER THAN 1/50 (2%) AT ALL SIDES.
- LANE CLOSURES SHALL NOT EXCEED 2 MILES IN TOTAL LENGTH (TAPER, BUFFER SPACE AND WORK SPACE) IN ANY GIVEN DIRECTION ON THE INTERSTATE OR STATE HIGHWAYS WITH A POSTED SPEED OF 55 MPH OR GREATER.
- THE UTILITY WORK AHEAD (W21-7) SIGN MAY BE USED AS AN ALTERNATIVE TO THE ROAD WORK AHEAD OR THE ROAD WORK XX FT (W20-1) SIGN FOR UTILITY OPERATIONS ON OR ADJACENT TO A HIGHWAY, IN ACCORDANCE WITH INDEX NO. 600, SHEET 5 OF 13, OF THE LATEST EDITION OF THE FDOT DESIGN STANDARDS.

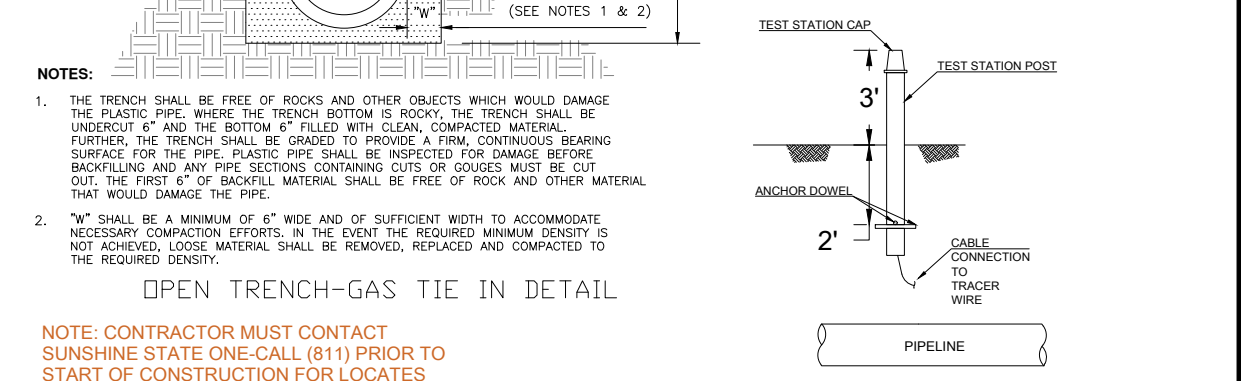
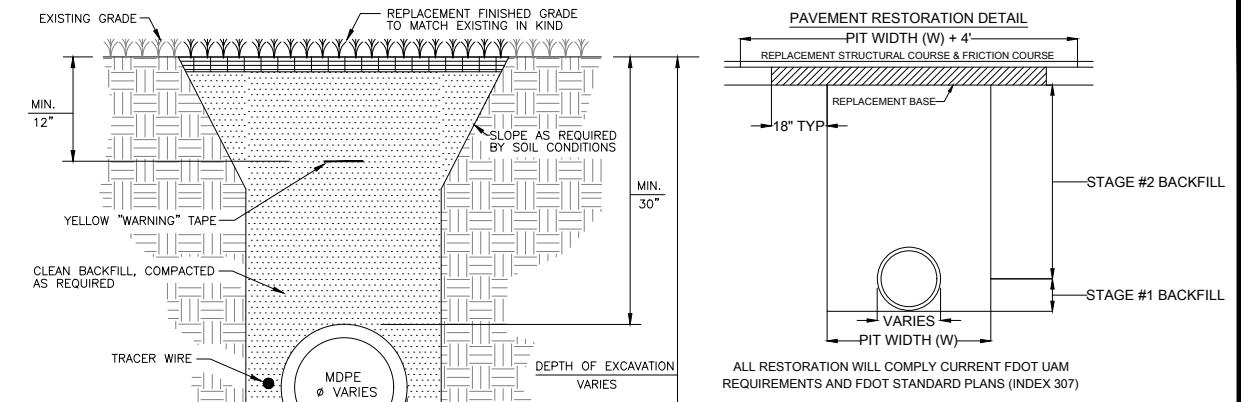
- THE SPEEDING FINES DOUBLED WHEN WORKERS PRESENT SIGN SHOULD BE INSTALLED ON ALL PROJECTS, BUT MAY BE OMITTED IF THE WORK OPERATION IS LESS THAN ONE DAY (24 HOURS); IN ACCORDANCE WITH INDEX NO. 600, SHEET 5 OF 13, OF THE LATEST EDITION OF THE FDOT DESIGN STANDARDS.
- THE END ROAD WORK SIGN SHOULD BE INSTALLED ON ALL PROJECTS, BUT MAY BE OMITTED WHERE THE WORK OPERATION IS LESS THAN ONE DAY (24 HOURS); IN ACCORDANCE WITH INDEX NO. 600, SHEET 5 OF 13, OF THE LATEST EDITION OF THE FDOT DESIGN STANDARDS.
- ALL SIGNS SHALL BE POST MOUNTED WHEN WORK OPERATIONS EXCEED ONE DAY(24 HOURS), IN ACCORDANCE WITH INDEX NO. 600, SHEET 6 OF 13, OF THE LATEST EDITION OF THE FDOT DESIGN STANDARDS.

MAINTENANCE OF TRAFFIC ABBREVIATIONS

CFR	CODE OF FEDERAL REGULATIONS
CSIP	COST SAVINGS INITIATIVE PROPOSAL
DTOE	DISTRICT TRAFFIC OPERATIONS ENGINEER
FDOT	FLORIDA DEPARTMENT OF TRANSPORTATION
HAR	HIGHWAY ADVISORY RADIO
L	TAPER LENGTH, BUFFER LENGTH OR TAPER LENGTH PLUS BUFFER SPACE
MAS	MOTORIST AWARENESS SYSTEM
MOT	MAINTENANCE OF TRAFFIC
MOTC	MAINTENANCE OF TRAFFIC COMMITTEE
MUTCD	MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS
NCHRP	NATIONAL COOPERATIVE HIGHWAY RESEARCH PROGRAM
PCMS	PORTABLE CHANGEABLE (VARIABLE) MESSAGE SIGN
PRS	PORTABLE REGULATORY SIGN
R	RADIUS
RPM	RAISED RETROREFLECTIVE PAVEMENT MARKER
RSDU	RADAR SPEED DISPLAY UNIT
S	POSTED SPEED OF OFF-PEAK 85 PERCENTILE SPEED (MPH)
SLEO	SPEED AND LAW ENFORCEMENT OFFICER
TTC	TEMPORARY TRAFFIC CONTROL
TCP	TRAFFIC CONTROL PLAN (S)
TCZ	TRAFFIC CONTROL ZONES
TMA	TRUCK/TRAILER MOUNTED ATTENUATOR
W	WIDTH OF TAPER TRANSITION IN FEET, I.E., LATERAL OFFSET.

MAINTENANCE OF TRAFFIC SYMBOLS

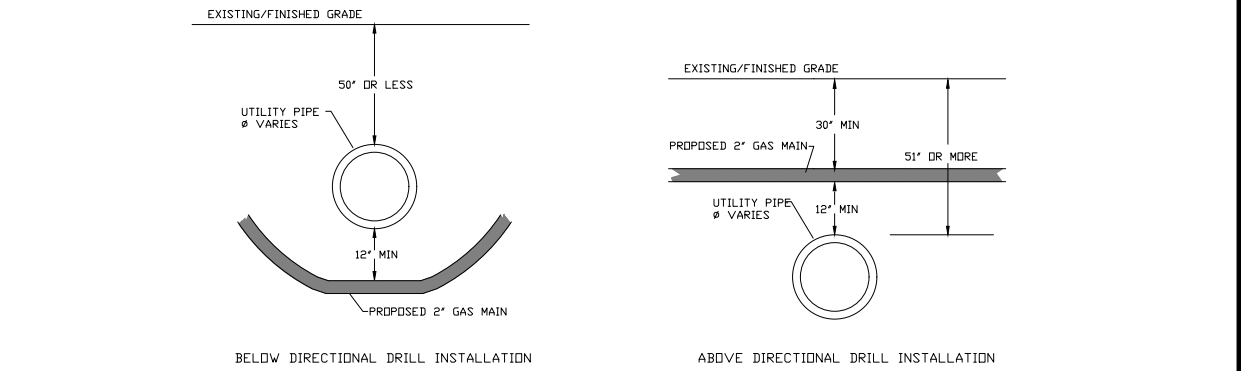
	WORK AREA, HAZARD OR WORK PHASE (ANY PATTERN WITHIN A BOUNDARY)
	SIGN WITH 18" X 18" (MIN.) ORANGE FLAG AND TYPE B LIGHT
	CHANNELIZING DEVICE
	TYPE III BARRICADE
	WORK ZONE SIGN
	FLAGGER
	TRAFFIC SIGNAL
	ADVANCE WARNING ARROW BOARD
	PORTABLE SIGNAL
	CRASH CUSHION
	STOP BAR
	WORK VEHICLE WITH FLASHING BEACON
	SHADOW (S) OR ADVANCE WARNING (AW) VEHICLE WITH ADVANCE WARNING ARROW BOARD AND WARNING SIGN
	TRUCK / TRAILER MOUNTED ATTENUATOR (TMA)
	ORANGE FLAG FOR TCZ SIGNS
	TYPE B LIGHT FOR TCZ SIGNS
	LAW ENFORCEMENT OFFICER
	PORTABLE REGULATORY SIGN
	RADAR SPEED DISPLAY UNIT
	PORTABLE CHANGEABLE (VARIABLE) MESSAGE SIGN
	LANE IDENTIFICATION + DIRECTION OF TRAFFIC



NOTE: CONTRACTOR MUST CONTACT SUNSHINE STATE ONE-CALL (811) PRIOR TO START OF CONSTRUCTION FOR LOCATES

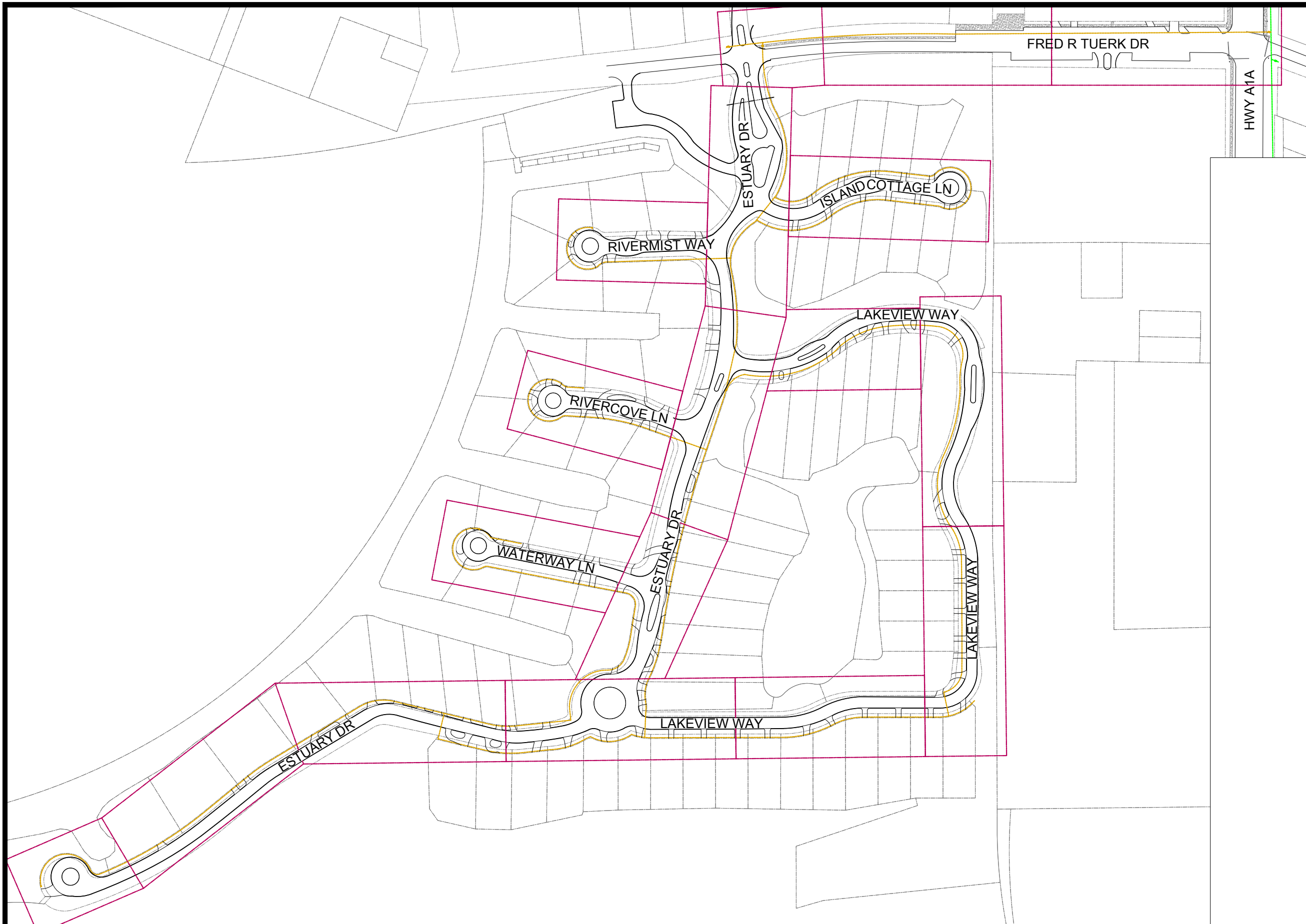
- NOTE:**
- ANY EXCAVATION WITHIN 8' OF THE EOP OR 3' FROM THE EDGE OF SIDEWALK WILL REQUIRE SHORING TO PREVENT UNDERMINING.
 - BORE TO EXTEND A MINIMUM OF 3' PAST SIDEWALKS OR DRIVEWAYS AND 8' PAST THE EOP OR EDGE OF COMMERCIAL DRIVEWAYS.
 - ALL UTILITY CROSSINGS TO BE EXPOSED PRIOR TO AND DURING HORIZONTAL DIRECTIONAL DRILL OPERATIONS TO ENSURE 18" MINIMUM CLEARANCES ARE MAINTAINED.
 - ANY EXCAVATION NEEDED WITHIN THE SIDEWALK OR PAVEMENT REQUIRE PRE-APPROVAL FROM FDOT.
- MAINLINES TO BE INSTALLED AT A DEPTH OF 36" OF COVER FROM THE TOP OF PIPE UNLESS REQUIRED TO INCREASE DEPTH DUE TO MAINTAINING NECESSARY SEPARATION FROM FOREIGN UTILITIES.**

- FDOT NOTES FOR ALL UTILITY PERMITS:**
- CONTRACTOR SHALL HAVE A CLEARED SUNSHINE ONE CALL TICKET BEFORE EXCAVATION IS PERFORMED
 - ALL MARKED UTILITIES WILL BE SPOTTED PRIOR TO DIRECTIONAL DRILLING
 - PROPOSED GAS LINE WILL MAINTAIN THE REQUIRED CLEARANCE FROM AND UTILITY CROSSED PER UAM 4.3.6
 - ALL RESTORATION WILL COMPLY WITH FDOT 2024-2025 STANDARD PLANS INDEX NO. 125-001
 - PAVEMENT RESTORATION SHALL PROVIDE MILLING AND RESURFACING FOR THE FULL WIDTH OF LANES IMPACTED AND A MINIMUM OF 10 FEET IN LENGTH IN EITHER DIRECTION FROM THE DAMAGED AREA. MILL EXISTING ASPHALT PAVEMENT 1" AVERAGE DEPTH AND RESURFACE WITH FC-9.5 (TRAFFIC LEVEL C)(1") (PG 76-22, ARB)
 - PAVEMENT RECONSTRUCTION FOR UTILITY TRENCHES SHALL BE USING FRICTION COURSE FC-9.5 (TRAFFIC LEVEL C)(1") (PG 76-22, ARB), STRUCTURAL COURSE TYPE 2" SP (TLC) AND OPTIONAL BASE GROUP OBG 9 1/2" TYPE B STABILIZATION (LBR 40). IF THE DAMAGED AREA IS WITHIN AN INTERSECTION, THE FULL INTERSECTION SHALL BE MILLED AND RESURFACED FROM EDGE OF PAVEMENT TO EDGE OF PAVEMENT
 - DAMAGE PAVEMENT MARKINGS (INCLUDING THERMOPLASTIC MARKINGS AND RPMS) WILL BE RESTORED TO MEET THE FDOT STANDARDS AT PERMITTEE EXPENSE.
 - ANY SIDEWALKS, RAMPS, AND/OR CURB AND GUTTER WORK SHALL BE PER FDOT 2024-2025 STANDARD PLANS INDEX 520-001, 522-001, 522-022 AND FDOT STANDARD SPECIFICATION 522-03
 - PROVIDE INLET PROTECTION SYSTEM



COORDINATOR: CLARK	SEC:	TWP:	RGE:	DATE	REV#	REVISION
DIVISION: IRC	DGFC#:	IO #:				
DESIGNED BY: SM	MAOP: 60 PSIG	SCALE: N/A				
CHECKED BY: MT	DATE: 5/22/2024	BCA#: 413710				
PROJECT DESCRIPTION: INSTALL 2,925' OF 4" PE MAIN VIA HDD, INSTALL 7,580' OF 2" PE MAIN VIA HDD						

PROJECT NAME:	SHEET TITLE:	SHEET NUMBER:
BCA 413710 - THE ESTUARY	NOTES	2 OF 12
		154



FRED R TUERK DR

HWY A1A

ESTUARY DR

ISLAND COTTAGE LN

RIVERMIST WAY

LAKEVIEW WAY

RIVERCOVE LN

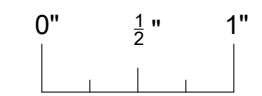
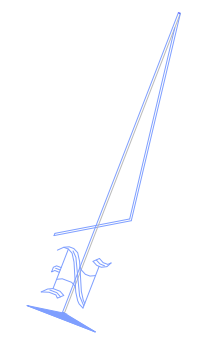
WATERWAY LN

ESTUARY DR

LAKEVIEW WAY

LAKEVIEW WAY

ESTUARY DR



IF THIS SCALE BAR IS NOT ONE (1) INCH IN LENGTH, THIS DWG IS NOT TO SCALE

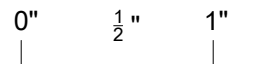
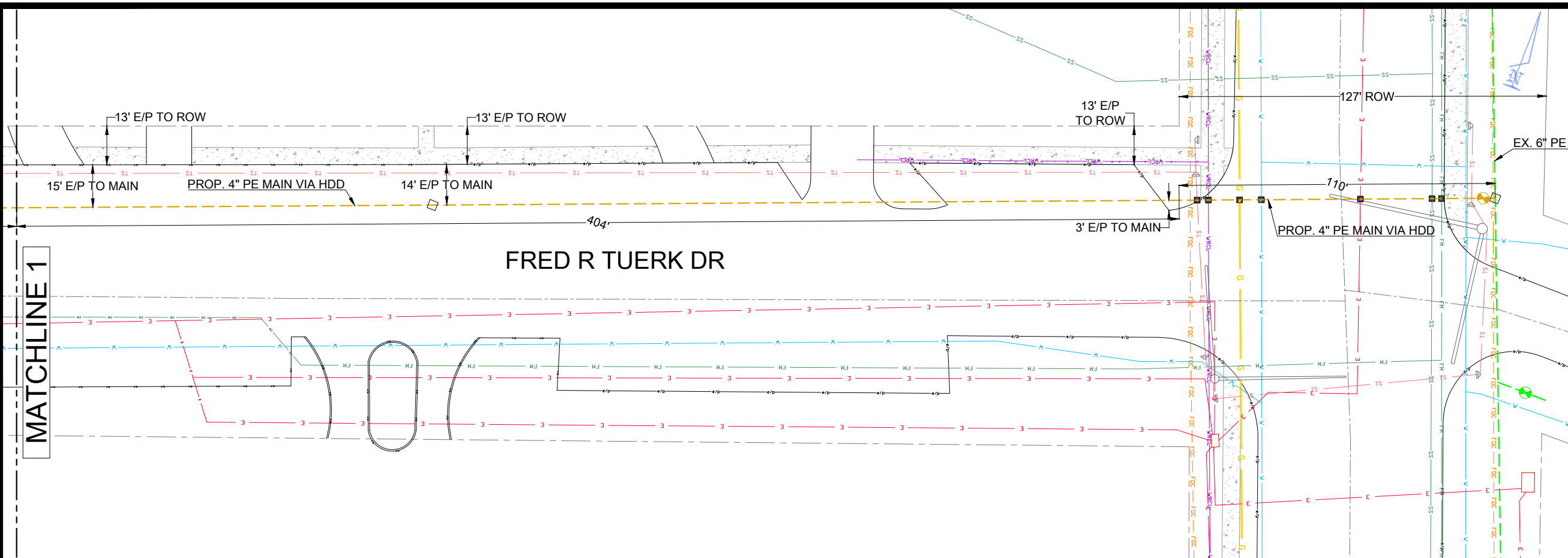


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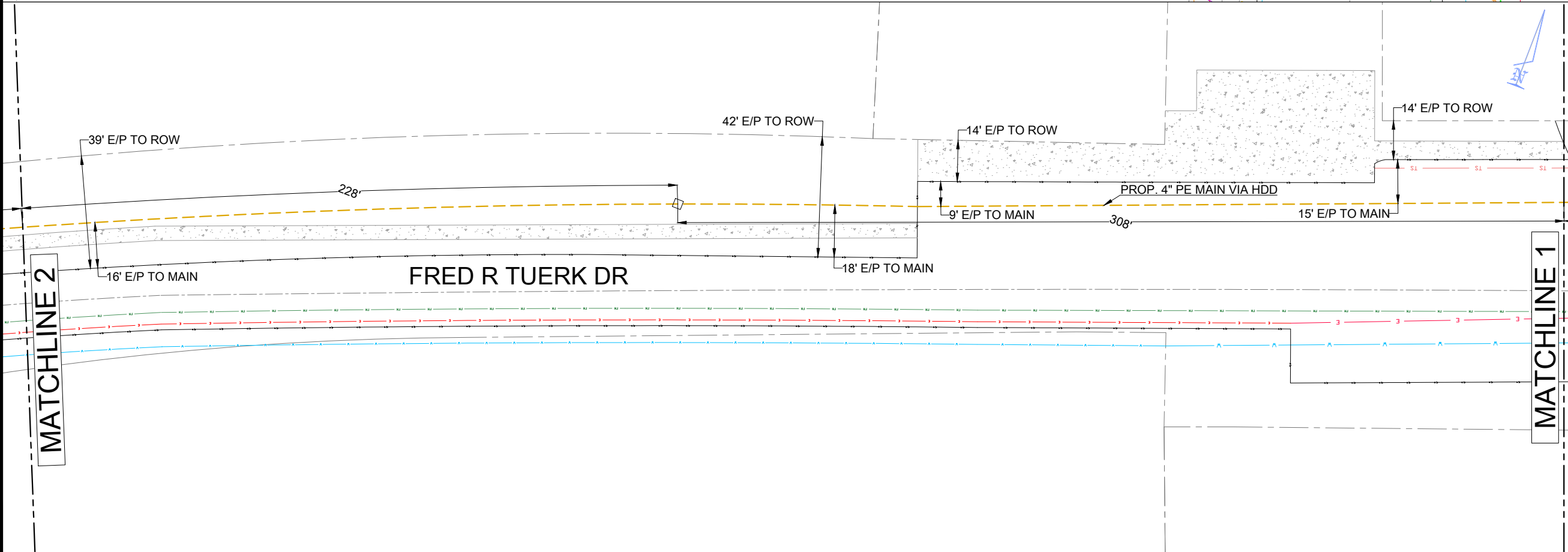
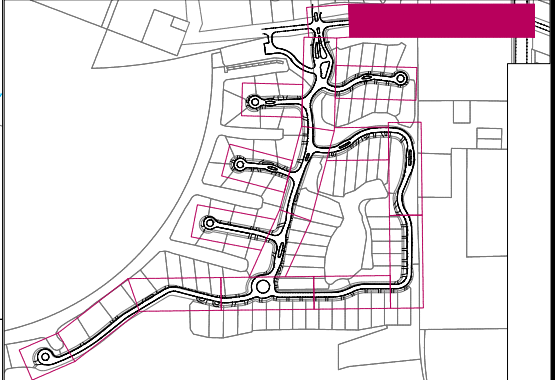
PROJECT NAME: BCA 413710 - THE ESTUARY

SHEET TITLE: OVERVIEW

SHEET NUMBER: 3 OF 12
155



IF THIS SCALE BAR IS NOT ONE (1) INCH IN LENGTH, THIS DWG IS NOT TO SCALE



LEGEND

- PROPOSED P.E. GAS MAIN
- EXIST. P.E. GAS MAIN
- PROPOSED AND EXISTING VALVE
- EXIST HP GAS TRANSMISSION
- RIGHT OF WAY
- E/P
- WATER MAIN
- WRCL
- SEWAGE
- FM
- SD
- FDC
- SIDEWALK
- BORE PIT
- SPOT PIT

MATCHLINE 1

MATCHLINE 2

MATCHLINE 1

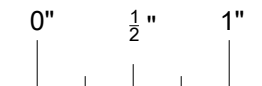
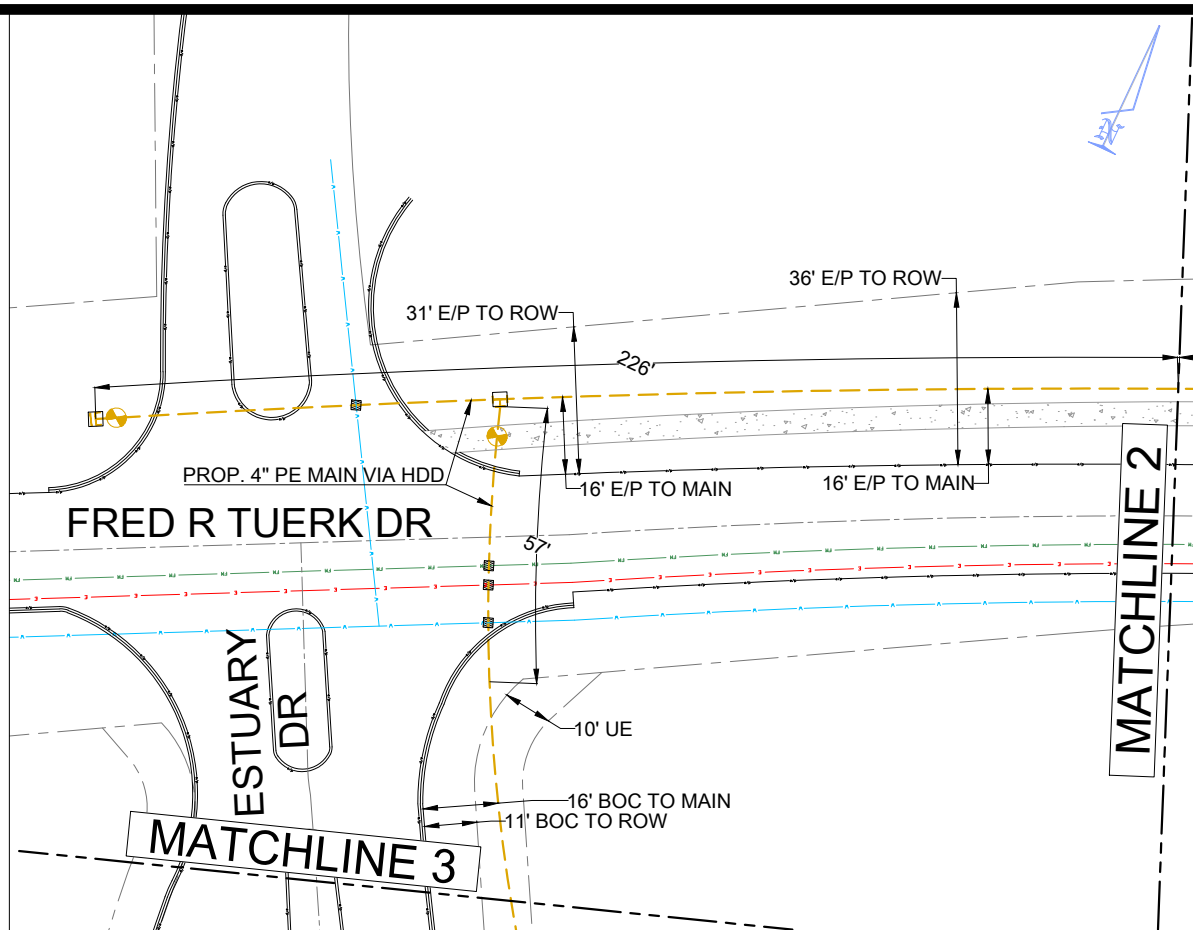


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DIVISION: IRC	DGFC#:	IO #:				
DESIGNED BY: SM	MAOP: 60 PSIG	SCALE: 1"=40'				
CHECKED BY: MT	DATE: 5/22/2024	BCA#: 413710				
PROJECT DESCRIPTION: INSTALL 2,925' OF 4" PE MAIN VIA HDD, INSTALL 7,580' OF 2" PE MAIN VIA HDD						

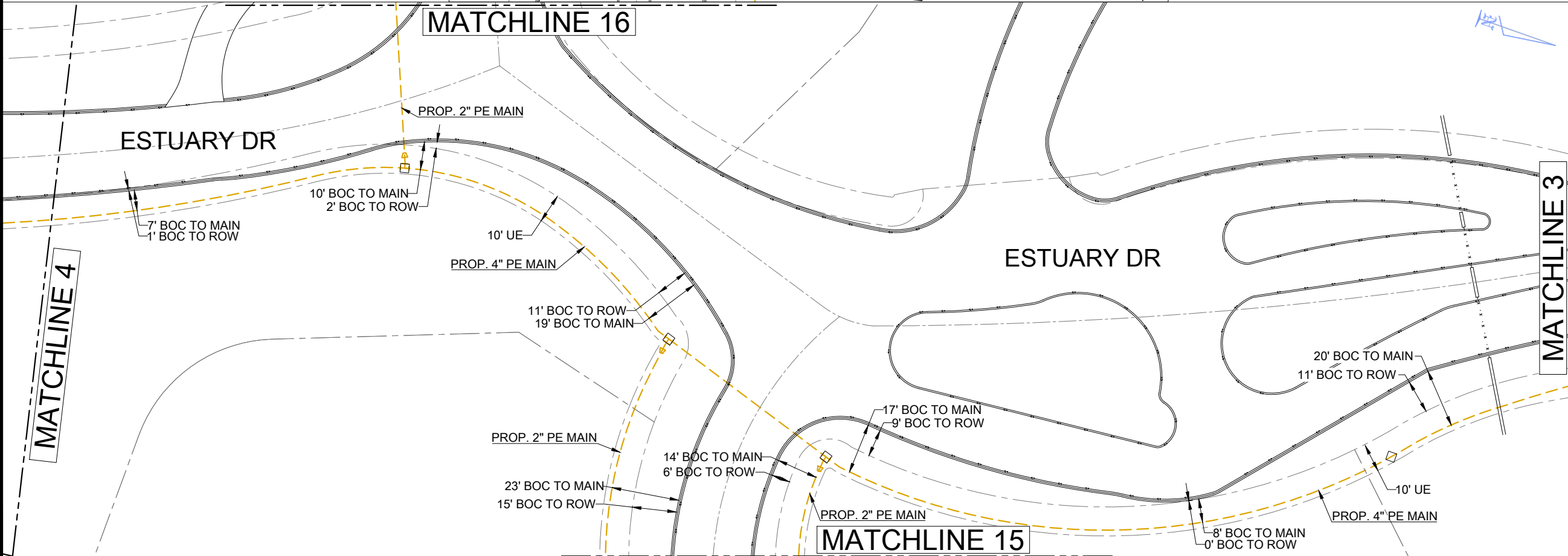
PROJECT NAME:
BCA 413710 - THE ESTUARY

SHEET TITLE:
UTILITY DESIGN 1

SHEET NUMBER:
4 OF 12
156



IF THIS SCALE BAR IS NOT ONE (1) INCH IN LENGTH, THIS DWG IS NOT TO SCALE



LEGEND

- PROPOSED P.E. GAS MAIN
- EXIST. P.E. GAS MAIN
- PROPOSED AND EXISTING VALVE
- EXIST HP GAS TRANSMISSION
- RIGHT OF WAY
- E/P EDGE OF PAVEMENT
- WATER MAIN
- RECLAIMED WATER MAIN
- SEWAGE
- FORCE MAIN
- STORM DRAIN
- FIBER OPTIC CABLE
- SIDEWALK
- BORE PIT
- SPOT PIT



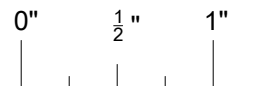
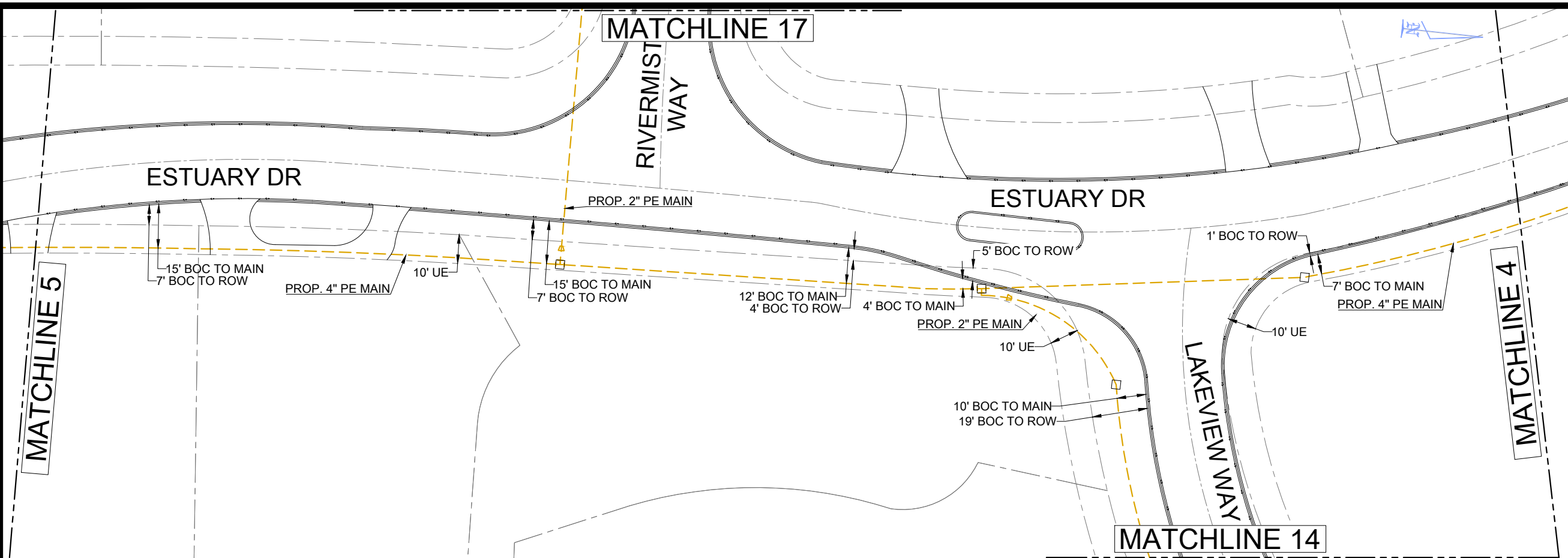
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CHECKED BY: MT	DATE: 5/22/2024	BCA#: 413710				
PROJECT DESCRIPTION: INSTALL 2,925' OF 4" PE MAIN VIA HDD, INSTALL 7,580' OF 2" PE MAIN VIA HDD						

PROJECT NAME:
BCA 413710 - THE ESTUARY

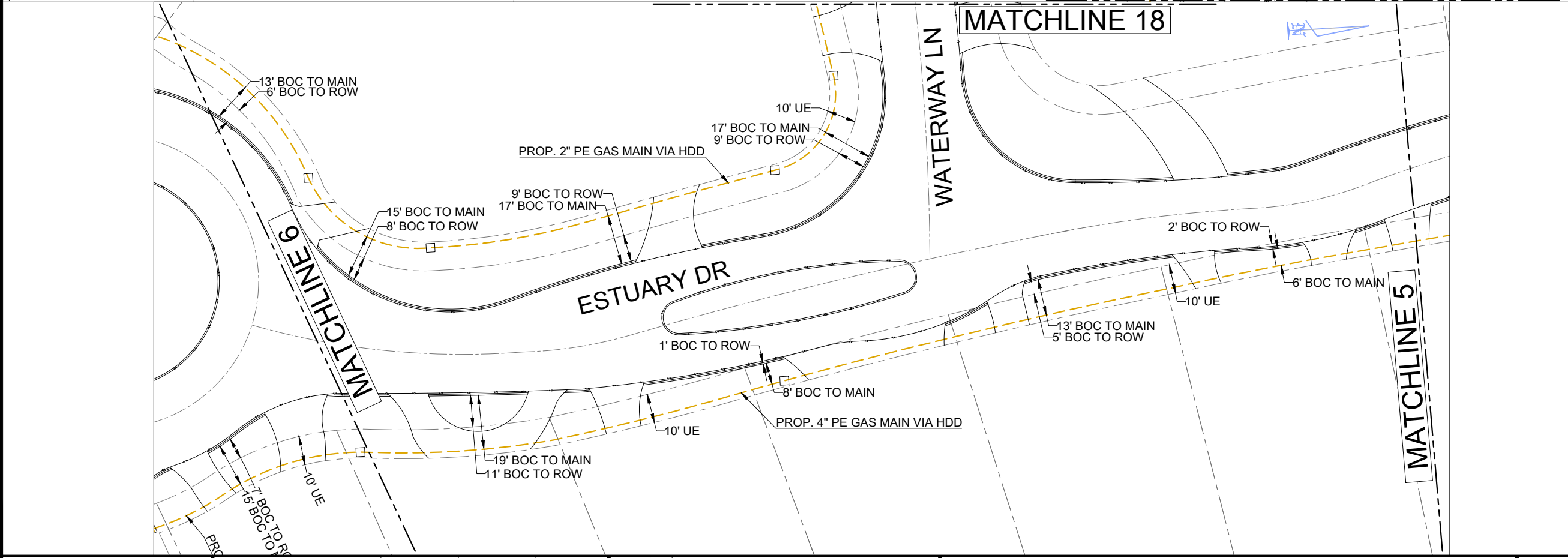
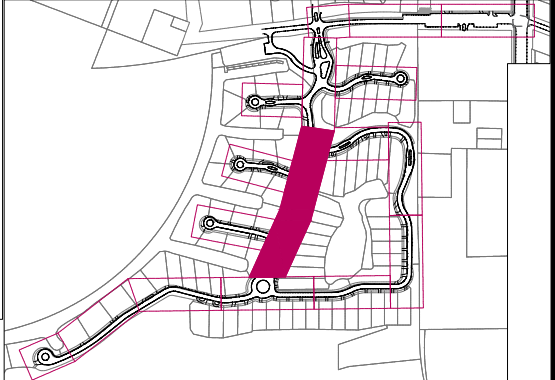
SHEET TITLE:
UTILITY DESIGN 2

SHEET NUMBER:
5 OF 12

157



IF THIS SCALE BAR IS NOT ONE (1) INCH IN LENGTH, THIS DWG IS NOT TO SCALE



LEGEND

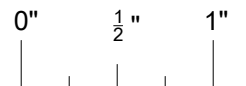
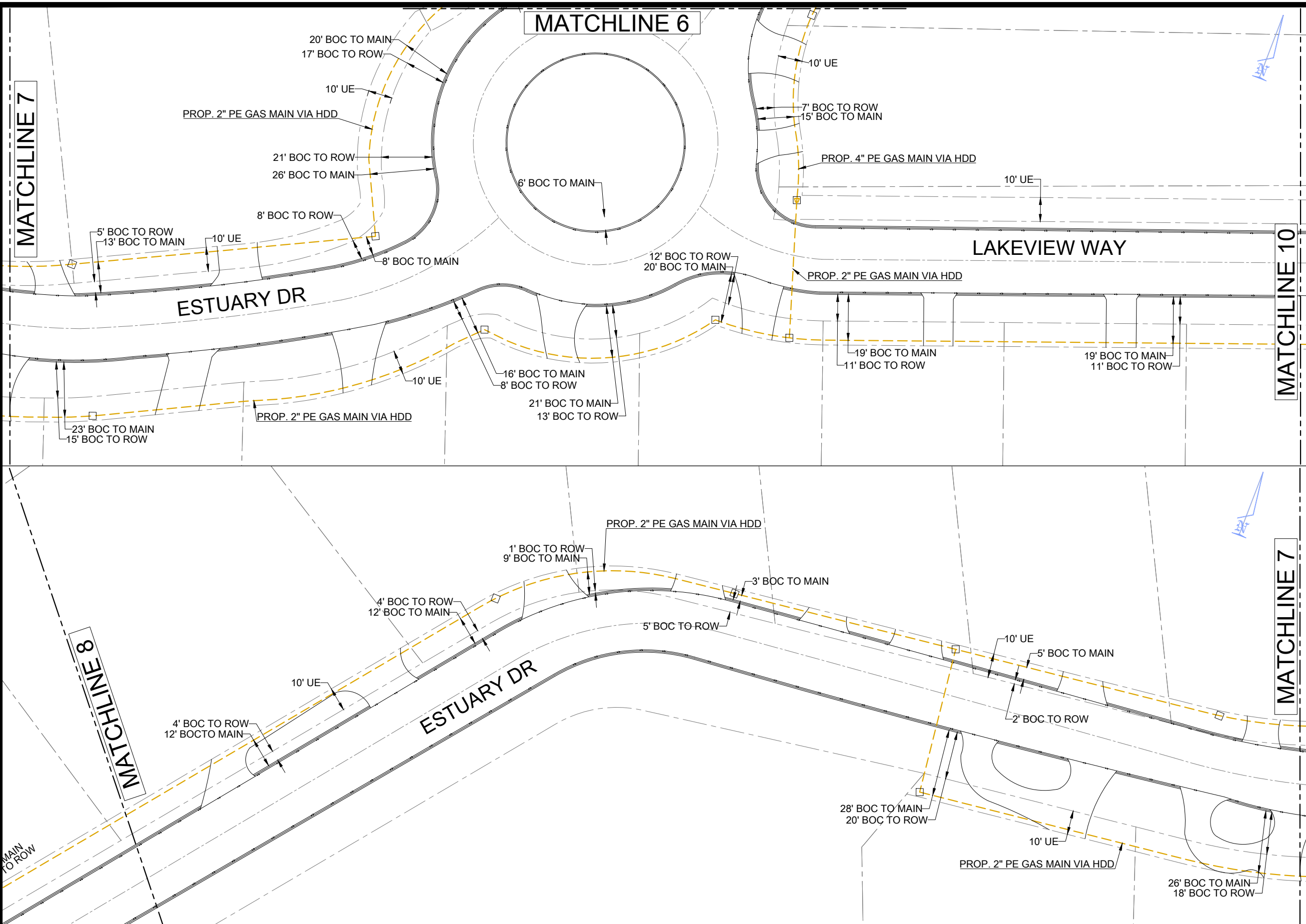
- PROPOSED P.E. GAS MAIN
- EXIST. P.E. GAS MAIN
- ⊗ ⊗ PROPOSED AND EXISTING VALVE
- EXIST HP GAS TRANSMISSION
- RIGHT OF WAY
- E/P EDGE OF PAVEMENT
- W WATER MAIN
- WRCL RECLAIMED WATER MAIN
- SS SEWAGE
- FM FORCE MAIN
- SD STORM DRAIN
- FOC FIBER OPTIC CABLE
- SIDEWALK
- BORE PIT
- SPOT PIT



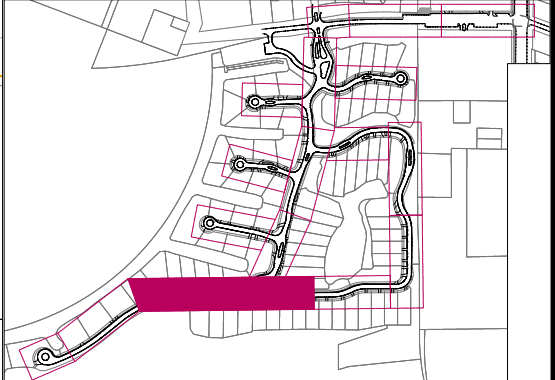
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DIVISION: IRC	DGFC#:	IO #:				
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CHECKED BY: MT	DATE: 5/22/2024	BCA#: 413710				
PROJECT DESCRIPTION: INSTALL 2,925' OF 4" PE MAIN VIA HDD, INSTALL 7,580' OF 2" PE MAIN VIA HDD						

PROJECT NAME: BCA 413710 - THE ESTUARY

SHEET TITLE: UTILITY DESIGN 3	SHEET NUMBER: 6 OF 12
	158



IF THIS SCALE BAR IS NOT ONE (1) INCH IN LENGTH, THIS DWG IS NOT TO SCALE



LEGEND

- PROPOSED P.E. GAS MAIN
- EXIST. P.E. GAS MAIN
- ● PROPOSED AND EXISTING VALVE
- 6" EXIST HP GAS TRANSMISSION
- RIGHT OF WAY
- E/P EDGE OF PAVEMENT
- W WATER MAIN
- WRCL RECLAIMED WATER MAIN
- SS SEWAGE
- FM FORCE MAIN
- SD STORM DRAIN
- FOC FIBER OPTIC CABLE
- SIDEWALK
- BORE PIT
- SPOT PIT



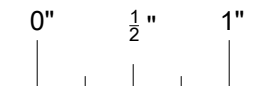
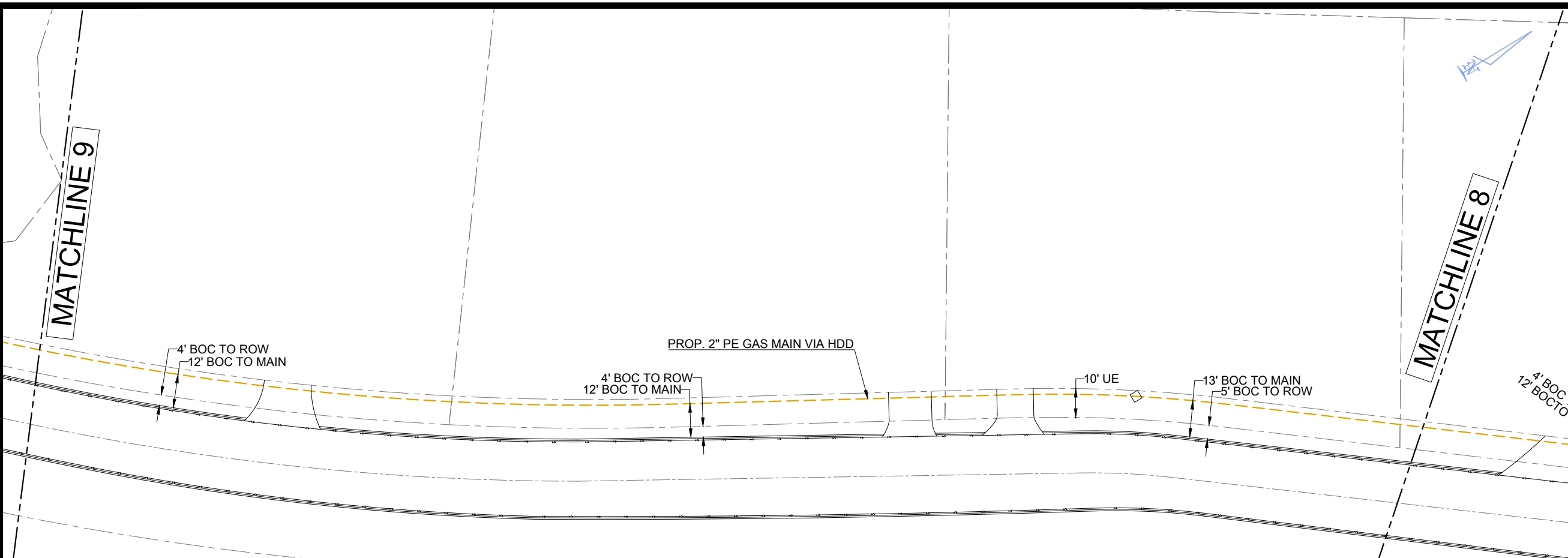
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CHECKED BY: MT	DATE: 5/22/2024	BCA#: 413710				
PROJECT DESCRIPTION: INSTALL 2,925' OF 4" PE MAIN VIA HDD, INSTALL 7,580' OF 2" PE MAIN VIA HDD						

PROJECT NAME:
BCA 413710 - THE ESTUARY

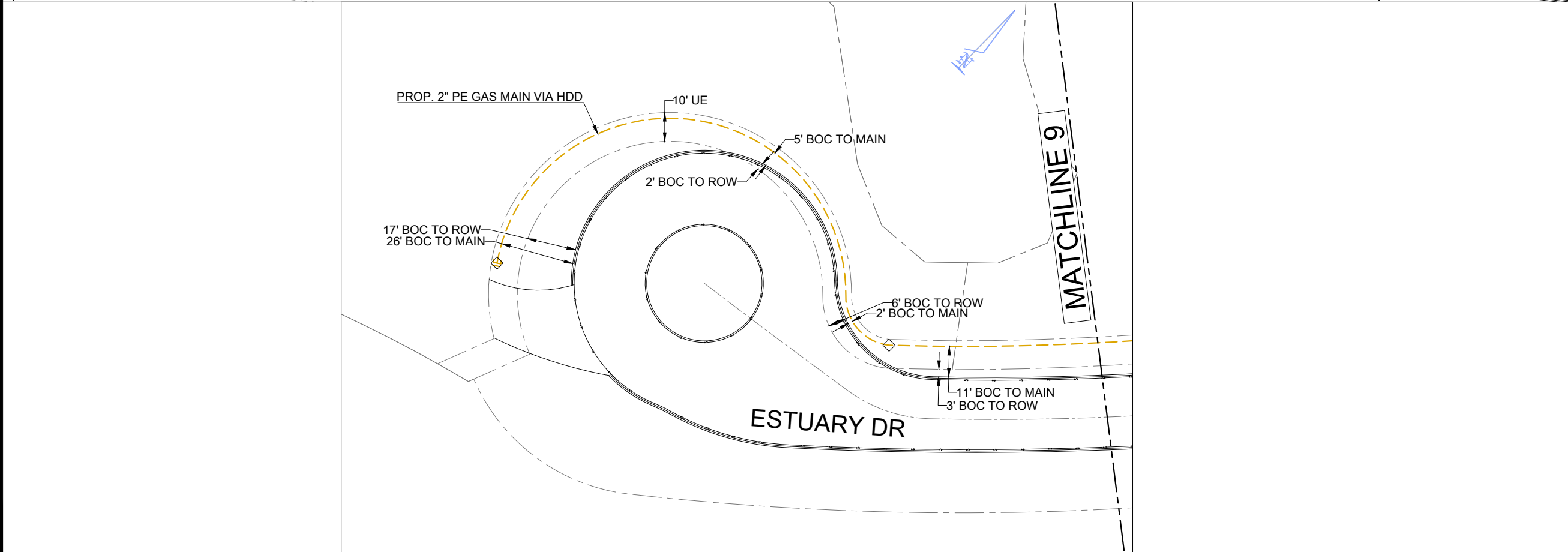
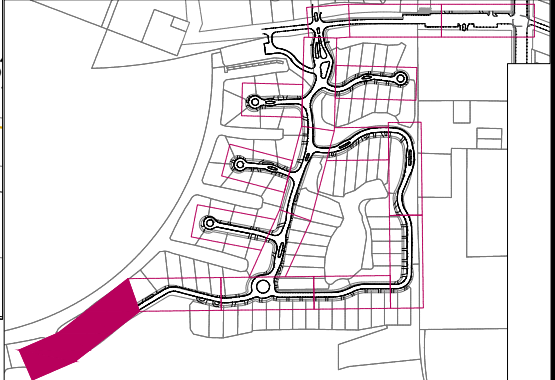
SHEET TITLE:
UTILITY DESIGN 4

SHEET NUMBER:
5 OF 12

159



IF THIS SCALE BAR IS NOT ONE (1) INCH IN LENGTH, THIS DWG IS NOT TO SCALE



LEGEND

- PROPOSED P.E. GAS MAIN
- EXIST. P.E. GAS MAIN
- ⊗ ⊗ PROPOSED AND EXISTING VALVE
- 6" EXIST HP GAS TRANSMISSION
- RIGHT OF WAY
- E/P EDGE OF PAVEMENT
- W WATER MAIN
- WRCL RECLAIMED WATER MAIN
- SS SEWAGE
- FM FORCE MAIN
- SD STORM DRAIN
- FOC FIBER OPTIC CABLE
- SIDEWALK
- BORE PIT
- SPOT PIT



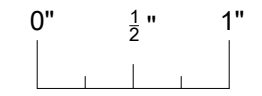
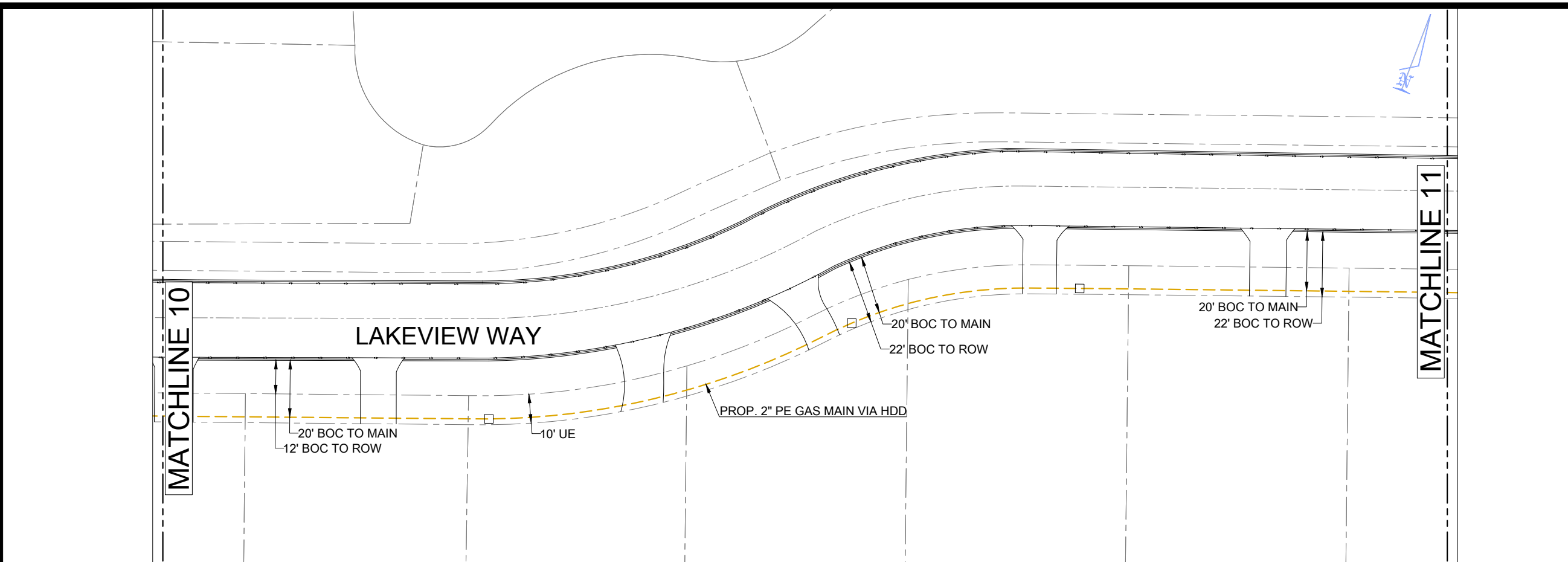
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DIVISION: IRC	MAOP: 60 PSIG	IO #:	SCALE: 1"=40'			
DESIGNED BY: SM	DATE: 5/22/2024	BCA#: 413710				
CHECKED BY: MT	PROJECT DESCRIPTION: INSTALL 2,925' OF 4" PE MAIN VIA HDD, INSTALL 7,580' OF 2" PE MAIN VIA HDD					

PROJECT NAME: BCA 413710 - THE ESTUARY

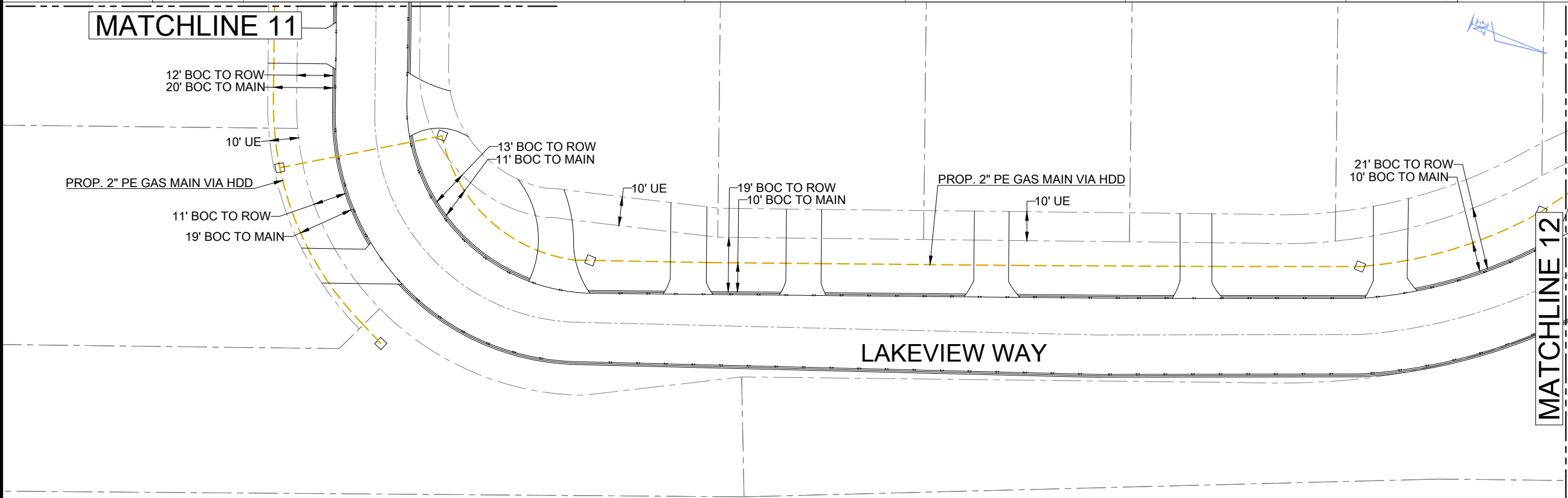
SHEET TITLE: UTILITY DESIGN 5

SHEET NUMBER: 8 OF 12

160



IF THIS SCALE BAR IS NOT ONE (1) INCH IN LENGTH, THIS DWG IS NOT TO SCALE



LEGEND

- PROPOSED P.E. GAS MAIN
- EXIST. P.E. GAS MAIN
- PROPOSED AND EXISTING VALVE
- EXIST HP GAS TRANSMISSION
- RIGHT OF WAY
- E/P EDGE OF PAVEMENT
- WATER MAIN
- WRCL RECLAIMED WATER MAIN
- SS SEWAGE
- FM FORCE MAIN
- SD STORM DRAIN
- FOC FIBER OPTIC CABLE
- SIDEWALK
- BORE PIT
- SPOT PIT

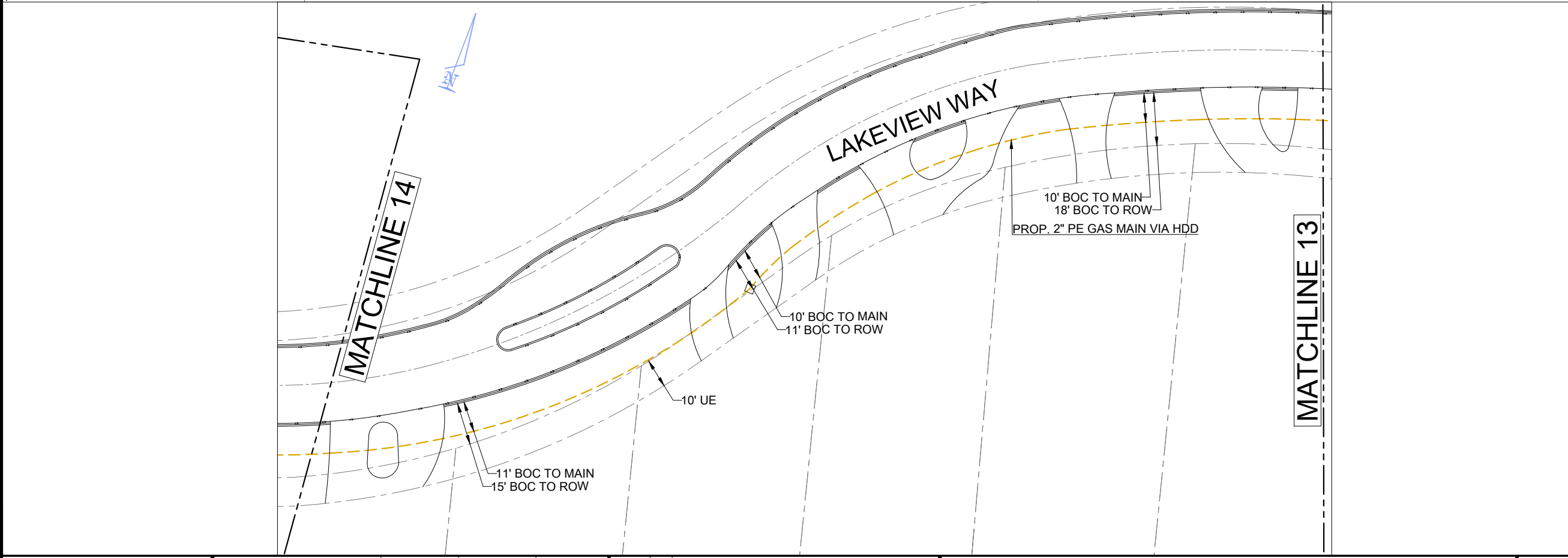
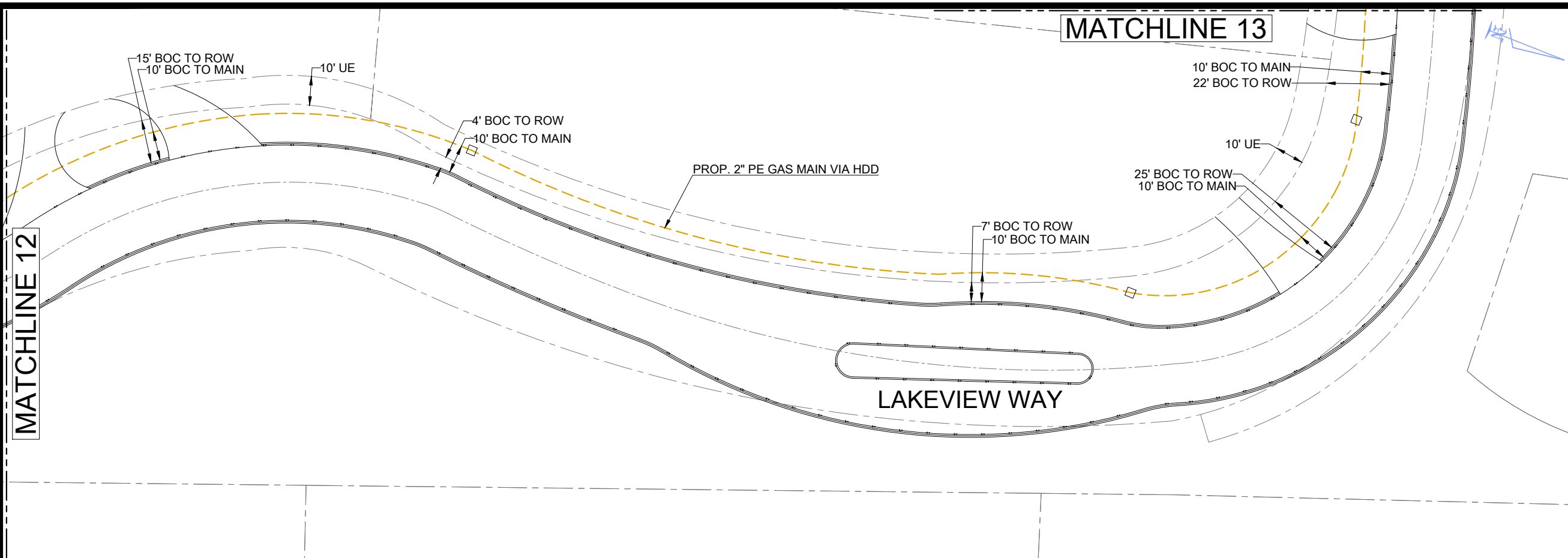


COORDINATOR: CLARK	SEC:	TWP:	RGE:	DATE	REV#	REVISION
DIVISION: IRC	DGFC#:	IO #:				
DESIGNED BY: SM	MAOP: 60 PSIG	SCALE: 1"=40'				
CHECKED BY: MT	DATE: 5/22/2024	BCA#: 413710				
PROJECT DESCRIPTION: INSTALL 2,925' OF 4" PE MAIN VIA HDD, INSTALL 7,580' OF 2" PE MAIN VIA HDD						

PROJECT NAME: BCA 413710 - THE ESTUARY

SHEET TITLE: UTILITY DESIGN 6

SHEET NUMBER: 9 OF 12
161



MATCHLINE 13

LAKEVIEW WAY

0" 1/2" 1"

IF THIS SCALE BAR IS NOT ONE (1) INCH IN LENGTH, THIS DWG IS NOT TO SCALE

LEGEND

- PROPOSED P.E. GAS MAIN
- EXIST. P.E. GAS MAIN
- ⊗ ⊗ PROPOSED AND EXISTING VALVE
- 6" EXIST HP GAS TRANSMISSION
- RIGHT OF WAY
- E/P EDGE OF PAVEMENT
- W WATER MAIN
- WRCL RECLAIMED WATER MAIN
- SS SEWAGE
- FM FORCE MAIN
- SD STORM DRAIN
- FOC FIBER OPTIC CABLE
- SIDEWALK
- BORE PIT
- SPOT PIT

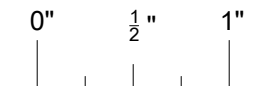
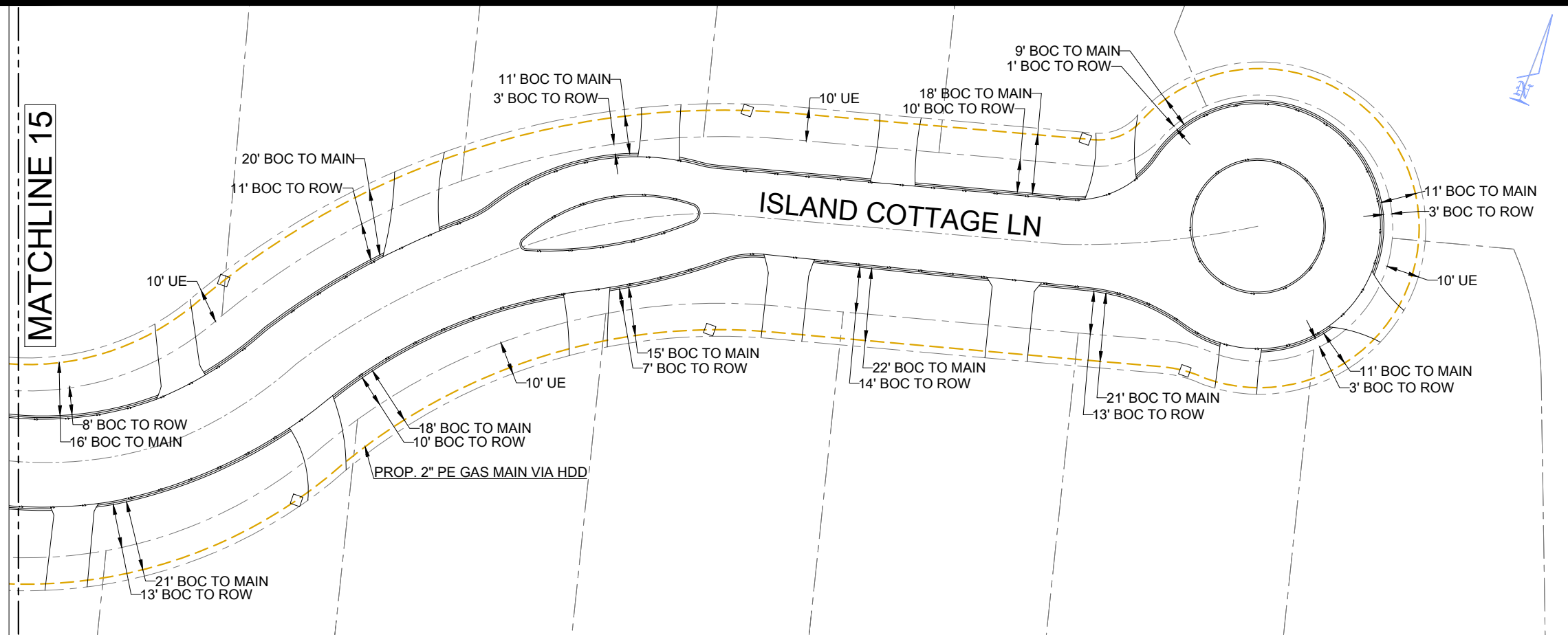


COORDINATOR: CLARK	SEC:	TWP:	RGE:	DATE	REV#	REVISION
DIVISION: IRC	DGFC#:	IO #:				
DESIGNED BY: SM	MAOP: 60 PSIG	SCALE: 1"=40'				
CHECKED BY: MT	DATE: 5/22/2024	BCA#: 413710				
PROJECT DESCRIPTION: INSTALL 2,925' OF 4" PE MAIN VIA HDD, INSTALL 7,580' OF 2" PE MAIN VIA HDD						

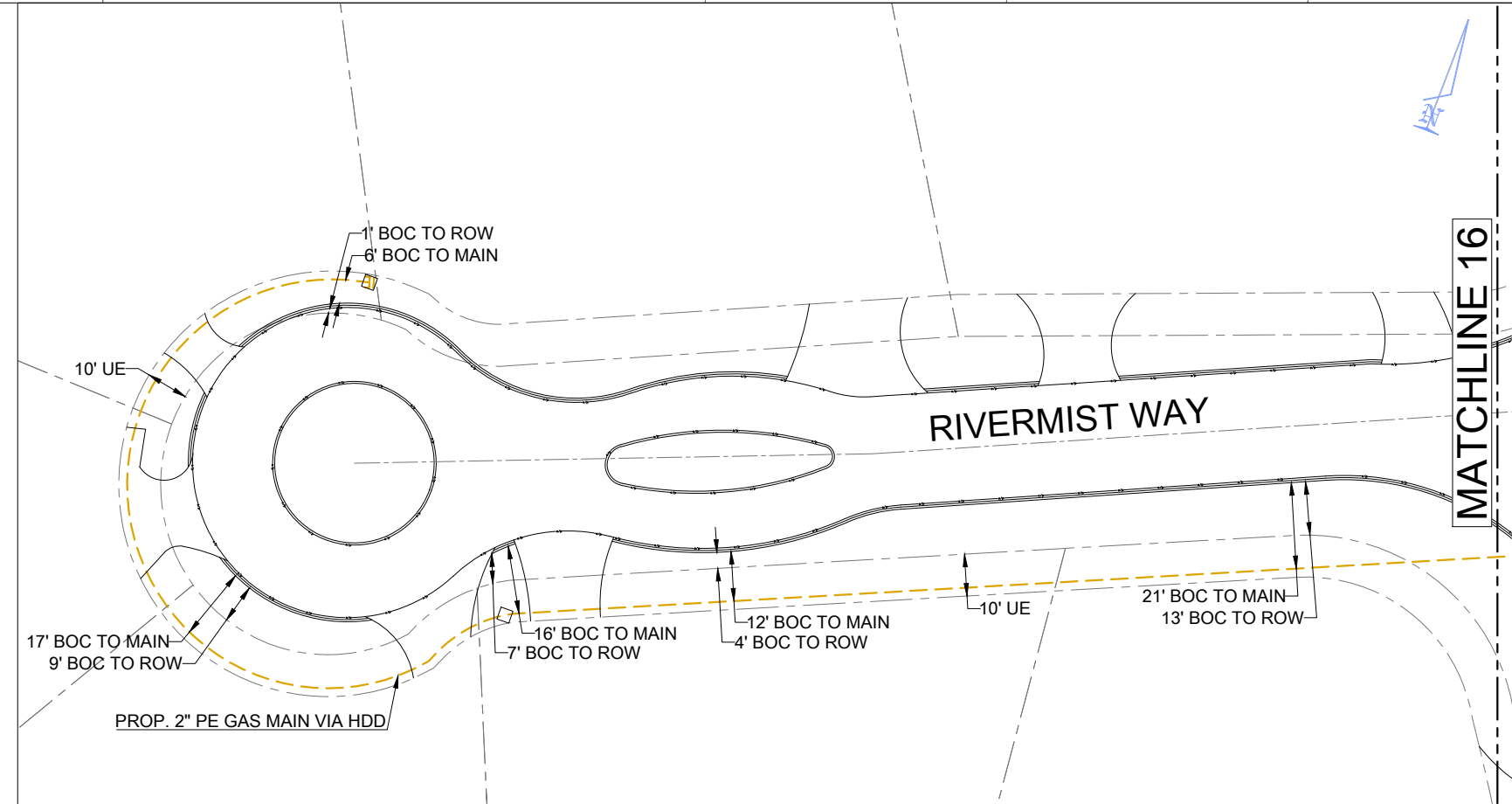
PROJECT NAME:
BCA 413710 – THE ESTUARY

SHEET TITLE:
UTILITY DESIGN 7

SHEET NUMBER:
10 OF 12
162



IF THIS SCALE BAR IS NOT ONE (1) INCH IN LENGTH, THIS DWG IS NOT TO SCALE



LEGEND

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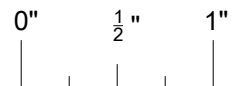
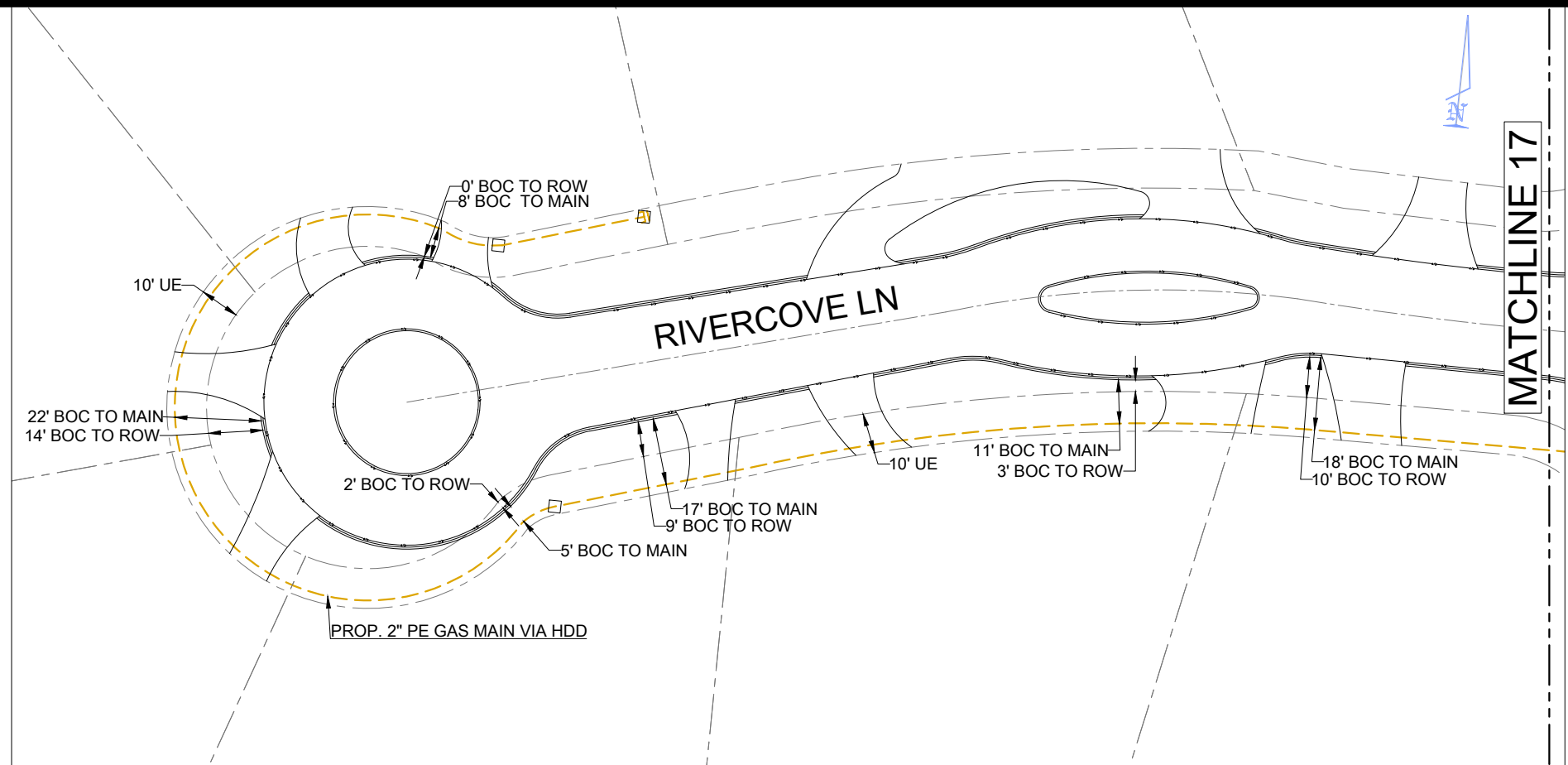
COORDINATOR: CLARK	SEC:	TWP:	RGE:	DATE	REV#	REVISION
DIVISION: IRC	DGFC#:	IO #:				
DESIGNED BY: SM	MAOP: 60 PSIG	SCALE: 1"=40'				
CHECKED BY: MT	DATE: 5/22/2024	BCA#: 413710				
PROJECT DESCRIPTION: INSTALL 2,925' OF 4" PE MAIN VIA HDD, INSTALL 7,580' OF 2" PE MAIN VIA HDD						

PROJECT NAME: BCA 413710 - THE ESTUARY

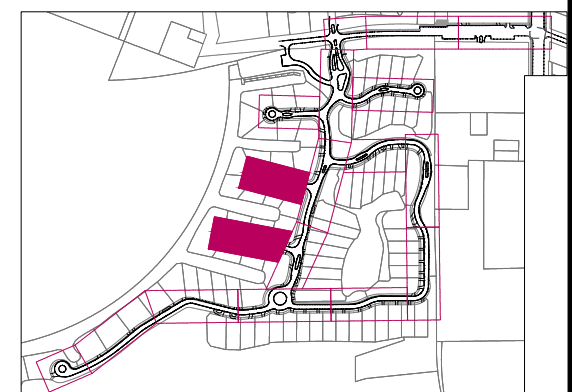
SHEET TITLE: UTILITY DESIGN 8

SHEET NUMBER: 11 OF 12

163

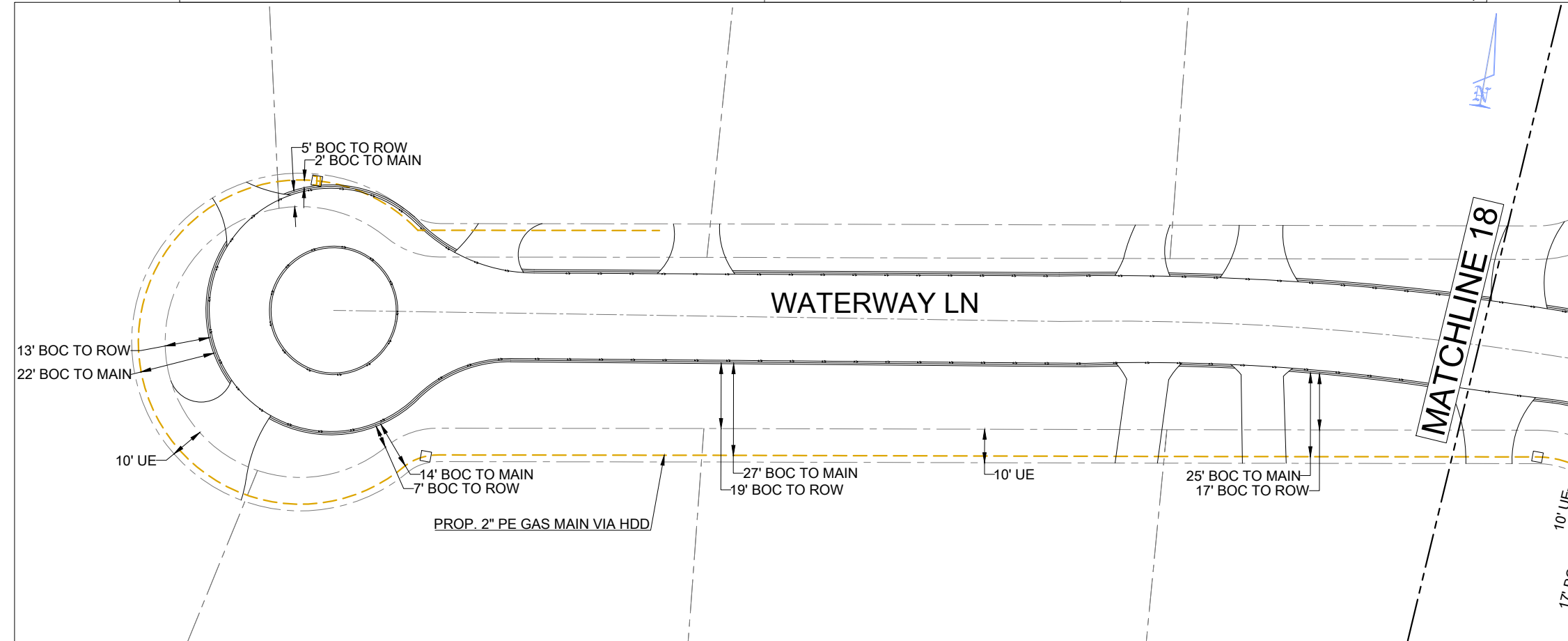


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- SIDEWALK
- BORE PIT
- SPOT PIT



COORDINATOR: CLARK	SEC:	TWP:	RGE:	DATE	REV#	REVISION
DIVISION: IRC	DGFC#:	IO #:				
DESIGNED BY: SM	MAOP: 60 PSIG	SCALE: 1"=40'				
CHECKED BY: MT	DATE: 5/22/2024	BCA#: 413710				
PROJECT DESCRIPTION: INSTALL 2,925' OF 4" PE MAIN VIA HDD, INSTALL 7,580' OF 2" PE MAIN VIA HDD						

PROJECT NAME:
BCA 413710 - THE ESTUARY

SHEET TITLE:
UTILITY DESIGN 9

SHEET NUMBER:
12 OF 12
164



THE TOWN OF INDIAN RIVER SHORES

Memorandum

TO: Town Council
James Harpring, Town Manager

FROM: Heather Christmas, Finance Director

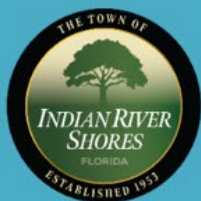
DATE: May 18, 2026

SUBJECT: April 2026 Budget Analysis

The April 2026 budget analysis was prepared using financial data available as of May 18, 2026. To date, two prior amendments have been adopted to the FY 2025–2026 budget. It is recommended that budget amendments be reviewed in conjunction with this report. A budget amendment has been recommended for the May 2026 Town Council meeting.

The significant differences from the amended budget or other items of note are as follows:

1. Operating Revenues – The adopted budget did not include the solid waste collection franchise fee (approximately \$40,000 annually). The Town also sold or traded in several vehicles that were not budgeted. In addition, the Town expects to receive approximately \$164,500 in grant funding for the Comprehensive Vulnerability Assessment update. A budget amendment is needed to recognize these revenues.
2. Town Manager – Prior to the creation of the Facilities Department, the Facilities Coordinator's salary was budgeted under the Town Manager. With the reorganization, the position was elevated to Facilities Director with a pay adjustment to reflect the expanded role. Salary and related costs were transferred to the Facilities Department effective April 2026.
3. Finance Department – The HR Manager retired and the position was eliminated following budget adoption; a Bookkeeper position was created to support Finance operations. A budget adjustment is needed to reflect the updated staffing and related costs.



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To provide a high level of personal service with integrity and professionalism to ensure an unparalleled quality of life.

4. Postal Center – Operating - Expenditures are trending below budget through April. Personnel costs are generally tracking to budget. The administrative cost allocation from the Finance Department has been removed, contributing to the favorable variance.
5. Postal Center – Cost of Goods Sold – Expenditures are trending below budget through April, consistent with lower stamp and metered postage sales. Costs are moving in line with sales activity.
6. Facilities Department (formerly Public Works) – Public Works has been reorganized into a Facilities Department, with the Facilities Coordinator promoted to Facilities Director. A budget adjustment is needed to reflect the vacancy and the revised departmental structure.
7. Public Safety - Expenditures are trending below budget due to recent retirements and lower activity across several line items. Given the unpredictable nature of public safety operations, no budget reduction is recommended at this time. The only amendment recommended is the reclassification of certain items that do not meet the capitalization threshold from capital to operating expenditures.
8. General Administrative - Expenditures are trending below budget through April, driven primarily by insurance premiums coming in below estimate and merit contingency not fully utilized. An unbudgeted HR review is reflected in contractual services. OPEB and retiree health insurance payments recorded year-to-date are expected to be reimbursed in August, with no net impact for the year.
9. Information Technology - Expenditures are trending below budget through April, primarily due to lower costs for the server room upgrade and the reclassification of the website hosting and document management costs to capital under GASB 96 guidance.
10. Legal - Attorney costs related to ongoing labor and utility matters remain speculative through year-end. Adjustments, if needed, will be reflected in the unreserved fund balance. For this reason, no adjustment to budgetary expenditures is recommended at this time.
11. Planning & Zoning Board/Code Enforcement - Code Enforcement expenditures are trending below budget through April, primarily due to the reallocation of personnel costs to the Building Department, revised from the original 30% to 50% based on actual activity.
12. Town Engineer - In February, the Town Council approved an unbudgeted contract with Coastal Waterways to update the Town's Comprehensive Vulnerability Assessment. A budget amendment is needed to recognize \$164,500 in related engineering expenditures (offsetting revenue noted in Item 1).
13. Waterway Transportation - Expenditures are trending below budget through April. As this is a new program with no prior history, the full cost remains uncertain. No budget adjustment is recommended until more information is available.
14. Capital Revenues – Capital revenue differences reflect a reduction in ambulance insurance proceeds, offset by trade-in proceeds from the pumper truck exchange and subscription liabilities for the website and records management agreements recognized under GASB 96, neither of which were included in the original budget.

15. Capital Expenditures – Capital expenditure variances reflect savings from under-budget emergency vehicles, unused building remodel contingency, lower chamber roof and HVAC estimates, and the canceled cemetery irrigation project, partially offset by investments in chamber sound equipment, GASB 96 software licensing for the website and records management system, the Beachcomber Lane gate, and increased funding for the Pebble Lane and Beachcomber Lane transportation projects. Public safety also reflects a reclassification of below-threshold purchases, including fire hoses, copiers, furniture, and float vests, from capital to operating expenditures. Budget amendments have been recommended to address some of these items.
16. Building Department Revenue - Building activity fluctuates based on permit volume and valuation. The Building Fund remains compliant with applicable Florida Statutes. Given current projections and the active consideration of a building department facility expansion, no fee adjustment is recommended at this time.
17. Building Department Expenditures - Pension contributions have been reduced as the Town was not required to make contributions to the general employee benefit fund in the current fiscal year. Professional services are coming in below budget, and training costs reflect the deferral of MCP classes to fiscal year 2026-2027. Budget adjustments have been recommended to reflect these variances.
18. Building Department Capital – In February 2026, the Town Council approved the purchase of a new vehicle for the Building Department not originally budgeted. Additionally, a budget adjustment is needed to recognize the expansion of the building department facility.

TOWN OF INDIAN RIVER SHORES
 2026 BUDGET ANALYSIS
 AS OF APRIL 2026

55%

<i>FUND/Department</i>	As of 04/30/26	Prorated Budget	Difference to Prorated Budget	Amended 2026 Budget	Forecasted Actual	Difference to 2026 Budget	Notes	% of Budget Utilized*
GENERAL FUND								
Operating revenues	\$ 7,855,123	7,569,607	\$ 285,516	\$ 8,659,238	\$ 8,985,854	\$ 326,616	1	91%
Town Council	22,809	25,396	2,587	92,274	82,874	9,400		25%
Town Manager	197,322	241,177	43,855	387,768	317,257	70,511	2	51%
Finance Department	198,067	229,453	31,386	399,497	344,852	54,645	3	50%
Town Clerk	99,049	101,167	2,118	189,188	185,227	3,961		52%
Postal Center				-				
Operating	58,547	71,306	12,759	123,911	101,739	22,172	4	47%
Cost of Stamps sold	126,576	138,010	11,434	170,300	156,191	14,109	5	74%
Facilities Department	177,990	204,708	26,718	460,441	400,345	60,096	6	39%
Public Safety Department	2,862,003	2,874,503	12,500	5,347,408	5,324,154	23,254	7	54%
General Administration	251,950	289,268	37,318	282,486	246,043	36,443	8	89%
Information Tech	161,513	176,854	15,341	314,741	287,439	27,302	9	51%
Legal	126,093	108,996	(17,097)	255,000	295,000	(40,000)	10	49%
Code Enforc/PZB Board	69,466	88,585	19,119	135,679	106,396	29,283	11	51%
Town Engineer	142,919	60,411	(82,508)	123,030	291,061	(168,031)	12	116%
Waterway Transportation	1,800	1,800	-	40,000	40,000	-	13	5%
Cemetery	11,145	12,254	1,109	17,449	15,870	1,579		64%
Community Center	9,743	13,136	3,393	31,337	23,242	8,095		31%
Total Expenditures	4,516,992	4,637,024	120,032	8,370,509	8,217,690	152,819		54%
Operating Surplus	<u>\$ 3,338,131</u>	<u>\$ 2,932,583</u>	<u>\$ 405,549</u>	<u>\$ 288,729</u>	<u>\$ 768,164</u>	<u>\$ 479,435</u>		
Capital Activity								
Capital source revenues	\$ 829,452	\$ 771,432	\$ 58,020	\$ 1,246,000	\$ 1,339,712	\$ 93,712	14	67%
Capital Expenditures	908,968	955,528	46,560	2,673,300	2,543,038	130,262	15	34%
	<u>\$ (79,516)</u>	<u>\$ (184,096)</u>	<u>\$ 104,580</u>	<u>\$ (1,427,300)</u>	<u>\$ (1,203,326)</u>	<u>\$ 223,974</u>		
ROAD AND OFFSITE DRAINAGE								
Total Revenues	<u>\$ 39,927</u>	<u>\$ 47,833</u>	<u>\$ (7,906)</u>	<u>\$ 114,200</u>	<u>\$ 95,324</u>	<u>\$ (18,876)</u>		35%
Total Expenditures	<u>28,068</u>	<u>38,111</u>	<u>10,043</u>	<u>69,617</u>	<u>51,272</u>	<u>18,345</u>		40%
Surplus	<u>\$ 11,859</u>	<u>\$ 9,723</u>	<u>\$ 2,136</u>	<u>\$ 44,583</u>	<u>\$ 44,052</u>	<u>\$ (531)</u>		
SOLID WASTE SPECIAL ASSESSMENT FUND								
Total Revenues	<u>\$ 334,184</u>	<u>\$ 327,080</u>	<u>\$ 7,104</u>	<u>\$ 337,329</u>	<u>\$ 344,656</u>	<u>\$ 7,327</u>		99%
Total Expenditures	<u>197,055</u>	<u>197,538</u>	<u>483</u>	<u>337,329</u>	<u>336,504</u>	<u>825</u>		58%
Surplus	<u>\$ 137,129</u>	<u>\$ 129,542</u>	<u>\$ 7,587</u>	<u>\$ -</u>	<u>\$ 8,152</u>	<u>\$ 8,152</u>		
BIKE PATH & PEDESTRIAN WALKWAY								
Total Revenues	<u>\$ 800</u>	<u>\$ -</u>	<u>\$ 800</u>	<u>\$ -</u>	<u>\$ 1,400</u>	<u>\$ 1,400</u>		
Total Expenditures	<u>4,025</u>	<u>-</u>	<u>(4,025)</u>	<u>-</u>	<u>4,025</u>	<u>(4,025)</u>		
Surplus/(Deficit)	<u>\$ (3,225)</u>	<u>\$ -</u>	<u>\$ (3,225)</u>	<u>\$ -</u>	<u>\$ (2,625)</u>	<u>\$ (2,625)</u>		
PLANNING, ZONING AND BUILDING FUND								
Total Revenues	<u>\$ 716,018</u>	<u>\$ 517,817</u>	<u>\$ 198,201</u>	<u>\$ 930,918</u>	<u>\$ 1,287,238</u>	<u>\$ 356,320</u>	16	77%
Building Department	428,825	449,884	21,059	863,478	823,058	40,420	17	50%
Capital Expenditures	-	-	-	15,000	1,111,500	(1,096,500)	18	0%
General Administration	39,167	43,576	4,409	77,398	69,567	7,831		51%
Total Expenditures	467,992	493,460	25,468	955,876	2,004,125	(1,048,249)		49%
Surplus/(Deficit)	<u>\$ 248,026</u>	<u>\$ 24,357</u>	<u>\$ 223,669</u>	<u>\$ (24,958)</u>	<u>\$ (716,887)</u>	<u>\$ (691,929)</u>		

**TOWN OF INDIAN RIVER SHORES
FINANCIAL CASH REPORT
APRIL 2026**

CASH AND INVESTMENTS ON DEPOSIT:

Beginning Balance	\$ 12,607,104
ADD: Receipts	515,809
LESS: Disbursements	(732,799)
TOTAL ON DEPOSIT	<u>\$ 12,390,114</u>

ACCOUNTS DETAILED:

SouthState Bank (0.08% interest rate)**	\$ 686,606
State & Local Government Investment Pool: Florida Prime (3.84% interest rate)	11,703,508

TOTAL ALL ACCOUNTS	<u>\$ 12,390,114</u>
---------------------------	-----------------------------

FUND BREAKOUT*

General Fund	\$ 11,106,297
Road & Bridge Fund	68,345
Bike Path & Pedestrian Way	26,238
Planning Zoning & Building Fund	1,052,086
Solid Waste Special Assessment Fund	137,129
Law Enforcement Forfeiture Fund	19

TOTAL ALL FUNDS	<u>\$ 12,390,114</u>
------------------------	-----------------------------

**all Bank Deposits are held in 100%
Guaranteed Florida Qualified Public Depositories

Estimated Balance based on
information available as of 05/11/2026

**TOWN OF INDIAN RIVER SHORES
PENSION REPORT
OCTOBER 2025 - MARCH 2026 ACTIVITY**

	Total Police & Fire Pension Plan	General Employee Defined Benefit Plan	Other Post- Employment Benefit Plan
Net Position at October 1, 2025	\$ 21,217,439	\$ 1,956,487	\$ 2,709,759
Contributions			
Employer	146,867	-	-
Employee	66,798	246	-
State	-	-	-
Total contributions	<u>213,665</u>	<u>246</u>	<u>-</u>
Distributions	(1,118,114)	(44,493)	-
Earnings	(235,888)	(13,275)	(15,995)
Fees*	(82,152)	(10,356)	(1,863)
Net Position March 31, 2026*	<u>\$ 19,994,950</u>	<u>\$ 1,888,609</u>	<u>\$ 2,691,901</u>

* Includes estimates for expenses as of 03/31/2026.

Estimated return for the FY 2026	-2.29%	-1.38%	-1.18%
Investment return for the FY 2025	11.47%	8.89%	9.14%
Investment return for the FY 2024	22.19%	20.96%	21.77%
Investment return for the FY 2023	10.19%	9.32%	10.20%
Investment return for the FY 2022	-13.10%	-13.80%	-14.46%
Investment return for the FY 2021	16.41%	22.20%	19.86%
Investment return for the FY 2020	3.68%	6.82%	7.01%
Investment return for the FY 2019	5.99%	5.60%	4.94%
Investment return for the FY 2018	8.84%	8.99%	8.38%
Investment return for the FY 2017	9.46%	15.78%	13.70%
Investment return for the FY 2016	12.18%	8.58%	11.32%
Investment return for the FY 2015	-2.76%	-0.10%	-3.43%
Average performance net of fees	6.86%	7.65%	7.27%

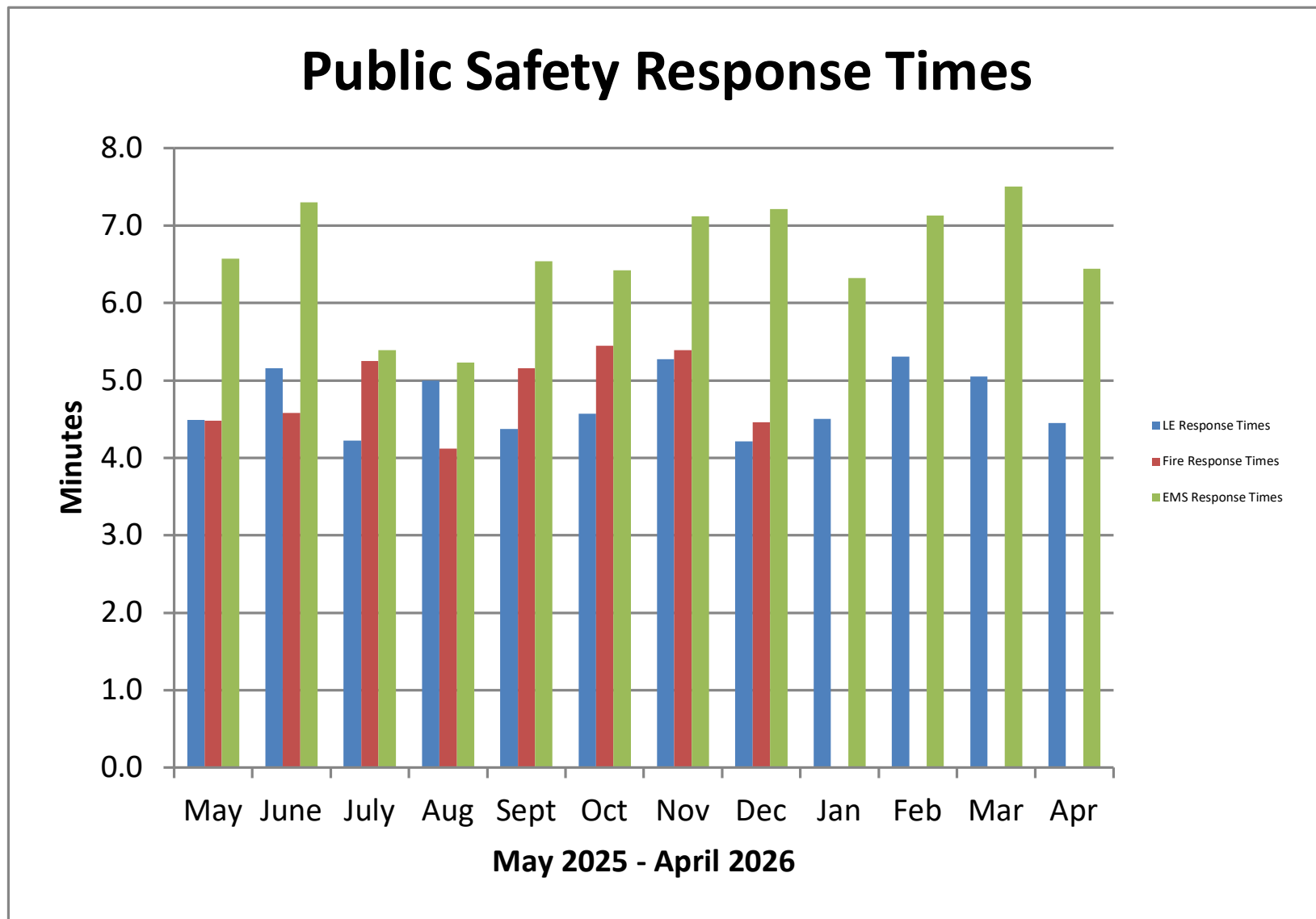
Latest Actuarial Study

Latest Actuarial Study Date	10/1/2025	10/1/2025	10/1/2025
Key Assumptions			
Asset Mix Target	60/30/10	60/30/10	60/30/10
Investment Return Rate %	6.75%	5.90%	6.04%
Funding Status			
Actuarial Value of Assets	21,218,956	1,920,028	2,709,759
Actuarial Accrual Liability	18,760,713	1,541,957	1,247,215
Underfunded/(Surplus) \$	(2,458,243)	(378,071)	(1,462,544)
% Funded	113.10%	124.52%	217.26%
% Funded Prior Actuarial	109.16%	124.68%	163.89%
Contributions			
2026 Required Contribution %	12.95% **	0.00%	0.00%
2025 Required Contribution %	17.79%	0.00%	0.00%
2024 Required Contribution %	17.79%	40.34%	0.00%
2023 Required Contribution %	22.74%	44.75%	0.00%
2022 Required Contribution %	12.57%	24.86%	0.00%
2021 Required Contribution %	12.72%	40.91%	0.00%
2020 Required Contribution %	14.42%	43.05%	0.00%

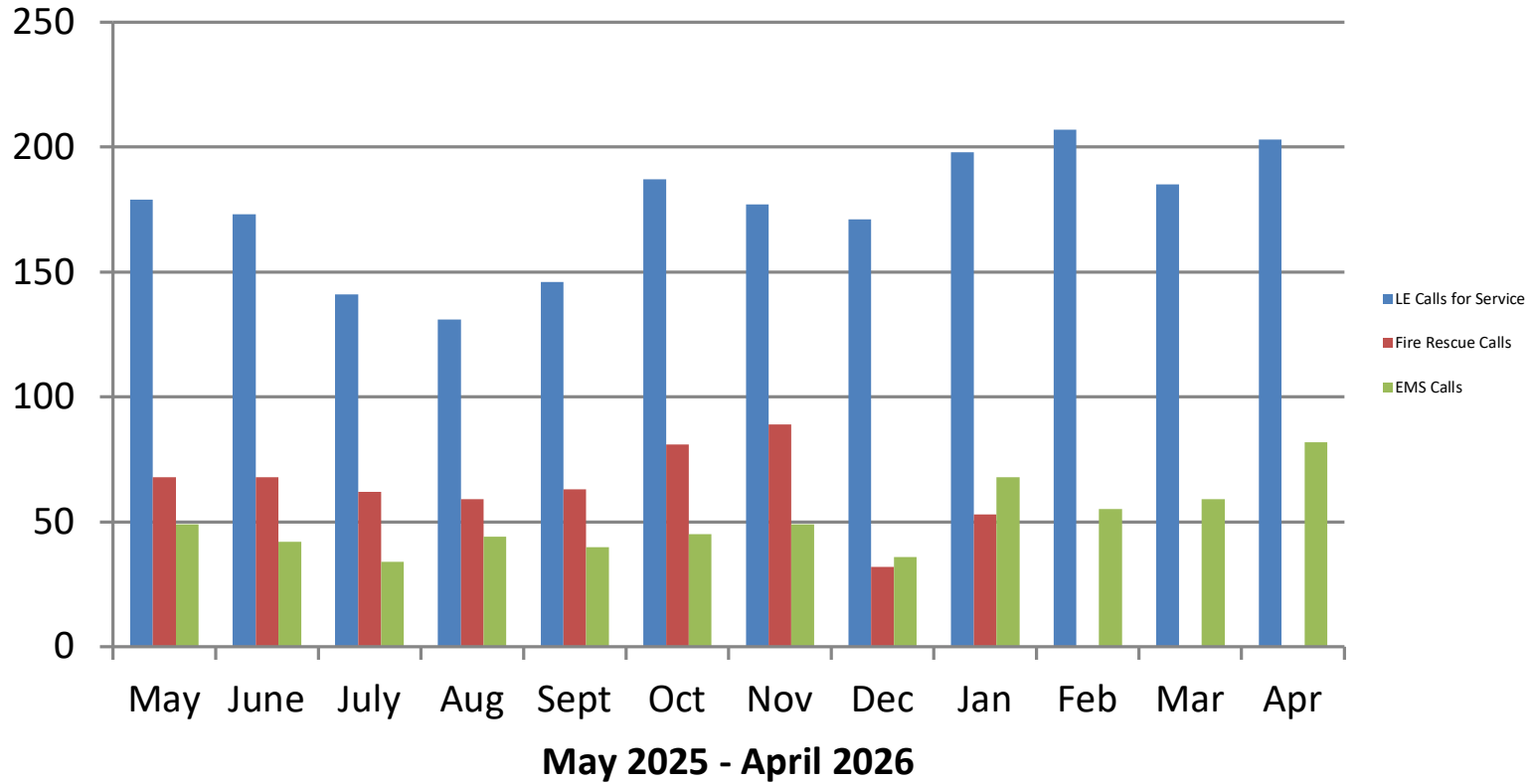
**Current actuarial determines the 2027 Required Contribution: 13.42%

Balances based on information available as of 05/11/2026.

Amounts provided are for analysis purposes only and should not be used to determine the actual plan value.



Public Safety Calls for Service



Law Enforcement Interactions with Public

